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Atorneys for Defendants
CITY AND COUNTY OF SAN FRANCISCO;
WILLIAM HUGHEN; KEVIN BIRMINGHAM; NATALIA FOSSI
(ERRONEOUSLY SUED AS NATALIA KWAITKOWSKA);
MAURICIO HERNANDEZ; and JOE DUFFY

UNITED STATES DISTRICT COURT
NORTHERN DISTRICT OF CALIFORNIA

PATRICK GALLAGHER,

Plaintiff,

vs.

CITY AND COUNTY OF SAN FRANCISCO, BERNARD CURRAN, RODRIGO SANTOS, WILLIAM HUGHEN, KEVIN BIRMINGHAM, NATALIA KWAITKOWSKA, AND JOE DUFFY,

Defendant.

Case No. 23-cv-03579-SI (JCS)

**DECLARATION OF KEVIN BIRMINGHAM
IN SUPPORT OF DEFENDANTS'
OPPOSITION TO PLAINTIFF'S MOTION
FOR SUMMARY JUDGMENT (Fed. R. Civ. P.
56)**

Hearing Date: December 19, 2025
Time: 10:00 a.m.
Place: Videoconference

Trial Date: February 17, 2026

DECLARATION OF KEVIN BIRMINGHAM

I, Kevin Birmingham, declare as follows:

1. I am over the age of eighteen and I have personal knowledge of the matters stated in this declaration, unless otherwise stated. If called upon to testify, I could and would testify competently to the contents of this declaration.

2. I am currently employed by the San Francisco Department of Building Inspection (“DBI”), a department of the City and County of San Francisco (“City”). I have been employed by DBI since 2016. My current title at DBI is Chief Building Inspector. I have held this position for approximately a year and a half.

3. Prior to becoming the Chief Building Inspector, I was a Senior Building Inspector. I held this position from approximately 2019 to 2024.

4. In approximately June 2021, I was assigned to assist in DBI's inspection efforts at a property located at 200 Naples Street, San Francisco, California ("the Property"). It is my understanding that Plaintiff was the owner of the Property the time I assisted in DBI's enforcement efforts.

5. The first I recall being involved with any enforcement at the Property was a meeting that occurred on or about January 21, 2022. The meeting was attended by me, then Senior Building Inspector Mauricio Hernandez and Plaintiff.

6. Prior to the meeting I reviewed all active permits for the Property. The active permit was numbered "PA 201810183586." I have reviewed PA 201810183586 and know that the work for that permit was to comply with a Notice of Violation ("NOV"), numbered 201895477.

7. Prior to the meeting I reviewed NOV number 201895477. That NOV was issued to Plaintiff for working without a permit. Specifically, that Plaintiff was attempting to install dormers without proper permits as well as Structural modifications to the roof and floor system.

8. Prior to the meeting, I reviewed a prior NOV that had been issued on the Property on May 17, 2021 by DBI Inspector Thomas Keane. That NOV was numbered 202175602 and was for working under an expired permit. I also reviewed amended NOV number 202175602 authored by Hernandez.

1 9. At the January 21, 2022 meeting, I observed many aspects of the condition of the
 2 Property that did not match the building plans that were submitted and approved by DBI for PA
 3 201810183586. It is important for general contractors and property owners to follow the plans that are
 4 submitted to DBI. This way, DBI can ensure that any construction related activities conducted in the
 5 neighborhoods of San Francisco is done in a safe and workmanlike manner.

6 10. Given the number of items that deviated from the approved plans, Hernandez and I
 7 divided handling of the issues. I handled the issues with the windows of the property, while Hernandez
 8 handled the remaining issues.

9 11. The issues with the windows pertained to windows on the front and the rear of the
 10 Property.

11 12. The windows on the front of the Property did not meet the egress requirements as
 12 outlined in California Building Code sections 1031.3.1, 1031.3.2 and 1031.3.3. Per Building Code
 13 section 1031.3.1, "*The minimum net clear height opening shall be 24". The minimum net clear width*
 14 *dimension shall be 20*" and must have a net clear opening of 5.7 square feet. The spirit behind
 15 Building Code section 1031.3.1 is to allow for a window to open wide enough such that a firefighter,
 16 or other first responder, can fit through it in the event of an emergency. This code pertains to a health
 17 and safety issue aimed to prevent death and serious injury. I advised Plaintiff that he could change the
 18 windows on each gable to meet the egress requirements from a bedroom. He did subsequently change
 19 these windows to meet the egress requirement.

20 13. The windows on the back of the property were within three feet of the property line.
 21 When windows are within five feet of a property line, they must be "45 minute rated windows." This
 22 specific type of window is designed to prevent the spread of a fire and is required within 5 feet of a
 23 property line due to the proximity of adjacent buildings and the risk a fire could easily spread between
 24 buildings of such close proximity.

25 14. I reviewed the building plans submitted in connection with this property. In those plans,
 26 Plaintiff attested that he would use "45 minute rated windows" in his project. Attached hereto as
 27 Exhibit A is a true and accurate copy of the attestation signed by Plaintiff.

1 15. I issued a “Correction Notice and Report” for the issues with the windows described
 2 above. DBI inspectors may issue a “Correction Notice” when a problem falls short of a NOV, but DBI
 3 will issue an NOV should the property owner or contractor fail to correct the items described in the
 4 “Correction Notice.” The “Correction Notice” I issued is attached hereto as Exhibit B.

5 16. I was not personally involved with any of the enforcement done at the Property other
 6 than the windows.

7 17. I considered the issues described above to be potentially serious life and safety issues.
 8 Any enforcement I, or any other DBI employee I interacted with, was only done to ensure Plaintiff’s
 9 project was done consistent with the submitted plans and the applicable laws governing Plaintiff’s
 10 project at 200 Naples St.

11 18. On or about May 4, 2022, I attended a meeting with an individual named Ernest Jones,
 12 who at the time was an aide to then San Francisco Supervisor Ahsha Safai. The meeting was also
 13 attended by DBI employees Joe Duffy, Matt Greene and Hernandez. During the meeting, all of the
 14 DBI employees explained to Plaintiff the corrections to the Property that DBI required in order to
 15 obtain final approval on the project. Plaintiff responded with accusations that the DBI employees were
 16 acting improperly respect to enforcement at the property. Then Supervisor Safai did not attend the
 17 meeting. I never spoke with Supervisor Safai before or after the meeting regarding the property.

18 19. At the time of the above described events, Defendant Joe Duffy was my supervisor at
 19 DBI. At no time did Duffy instruct or direct me to retaliate against Plaintiff in any way.

20 20. I worked with Defendant Bernie Curran. Curran never supervised me. I never had
 21 anything other than a professional relationship with Curran. We did not socialize outside of work.

22 21. I never worked with Defendant Rodrigo Santos. Santos never supervised me. I never
 23 had anything other than a professional relationship with Santos. We did not socialize outside of work.

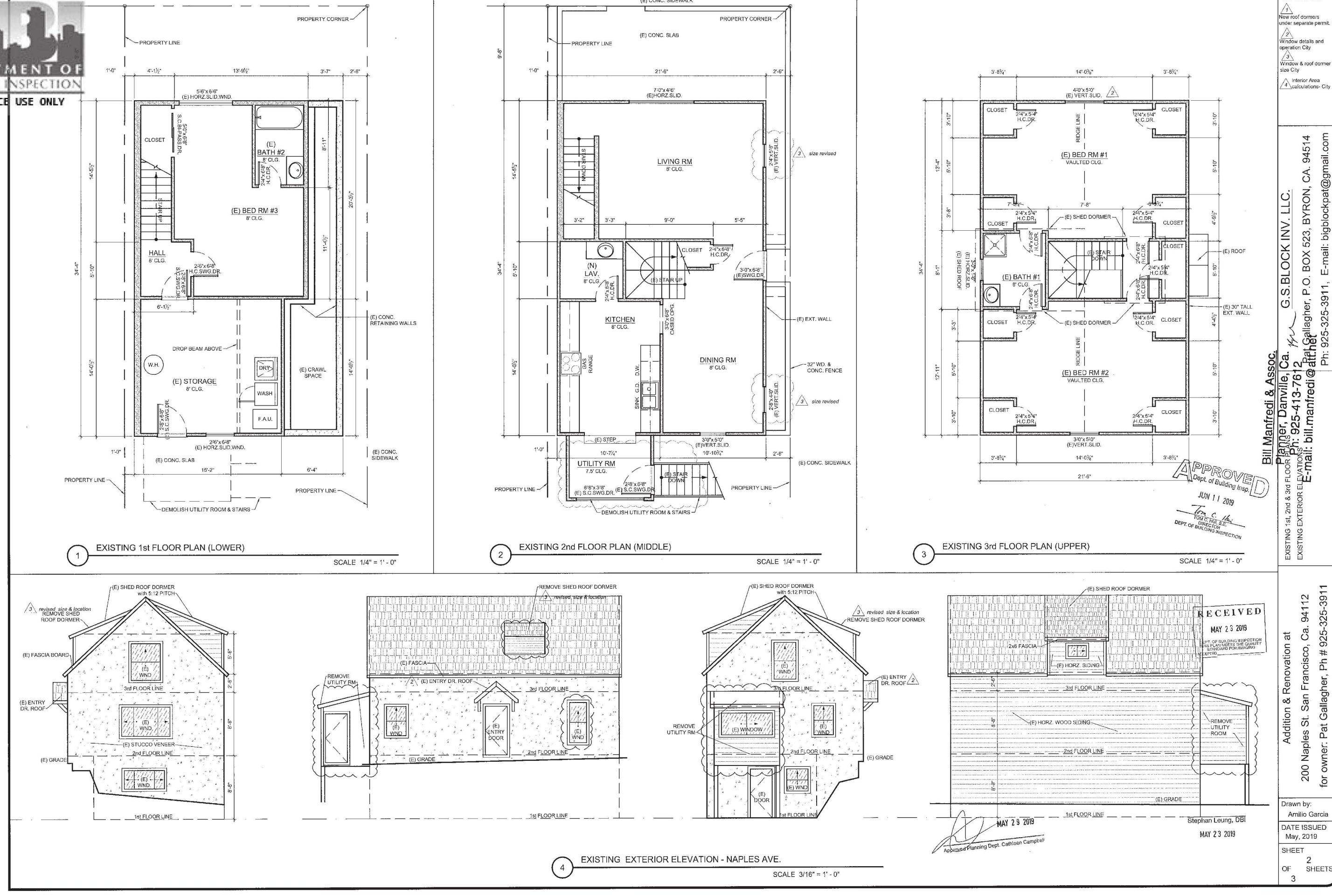
24 22. I do not believe I ever met Plaintiff prior to this project. I did not know that Plaintiff
 25 spoke with the FBI prior to June 8, 2021, when amended NOV 202175602 was issued. Some time
 26 after amended NOV 202175602 was issued, I learned Plaintiff claimed he had spoken with the FBI
 27 about Bernie Curran and Rodrigo Santos. Plaintiff was the only source of this information.

1 I declare under penalty of perjury under the laws of the United States that the foregoing is true
2 and correct.

3 Executed this 17 day of November 2025, at San Francisco, California.

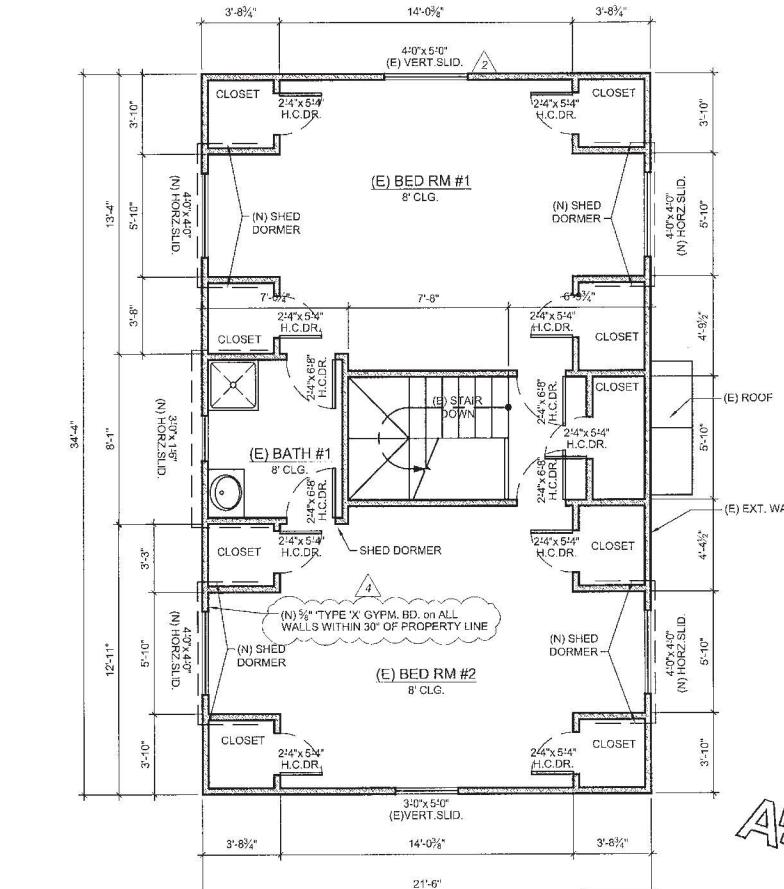
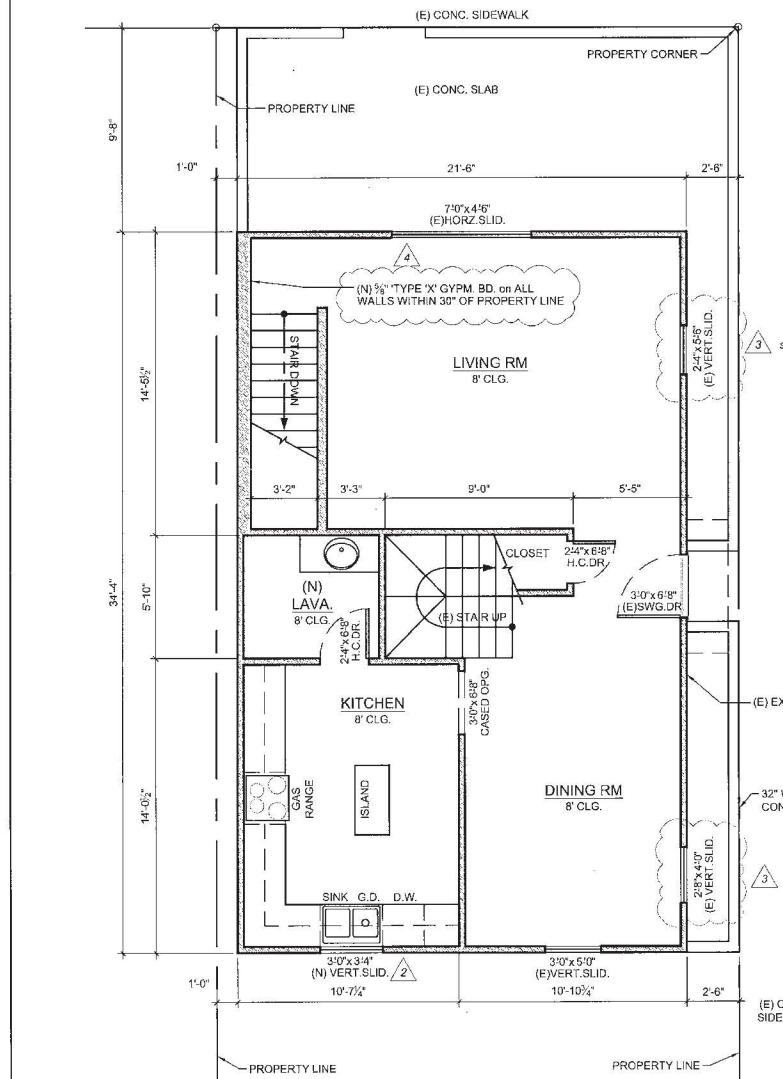
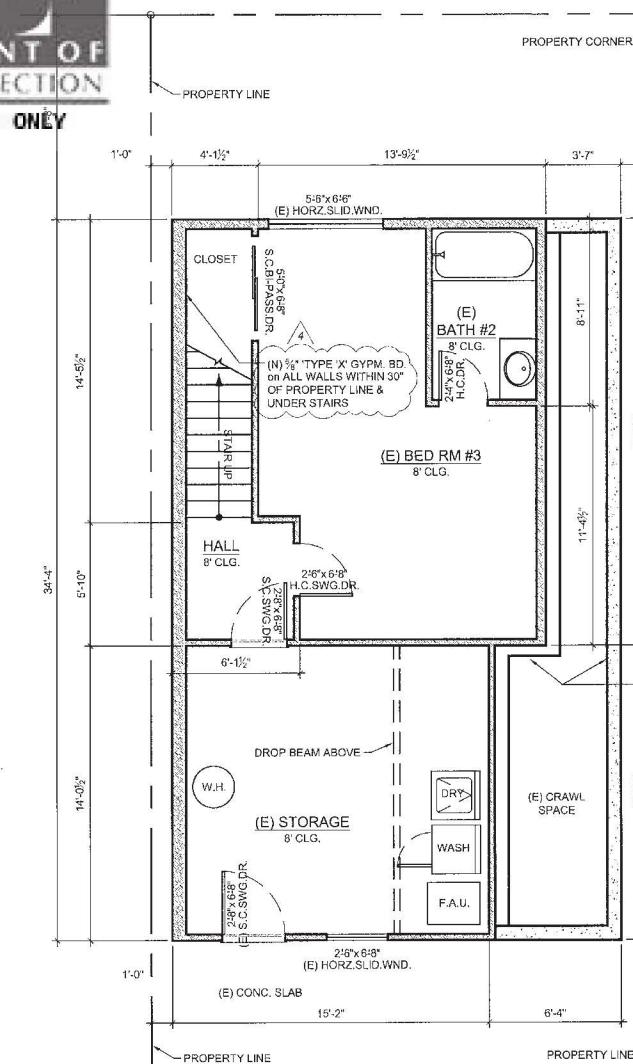
4
5 
KEVIN BIRMINGHAM

Exhibit A





REVISIONS:
 1 New roof dormers under separate permit.
 2 Window details and operation City
 3 Window & roof dormer size City
 4 Interior Area calculations- City

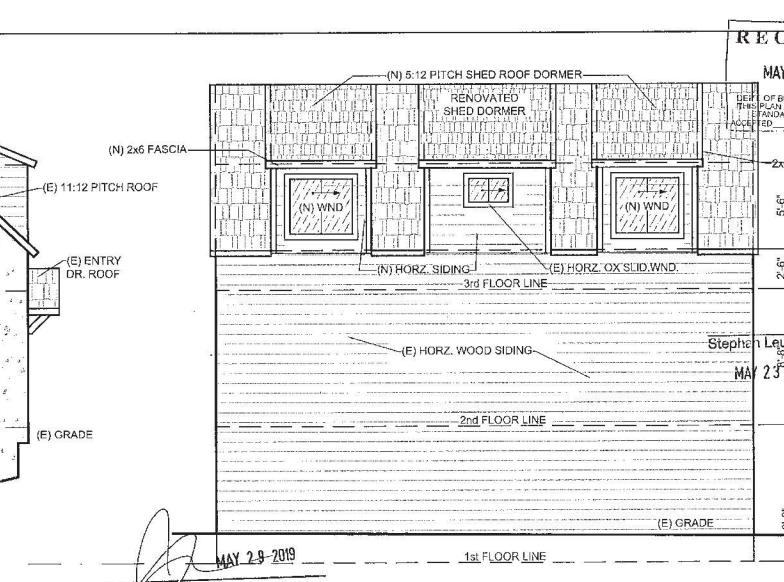
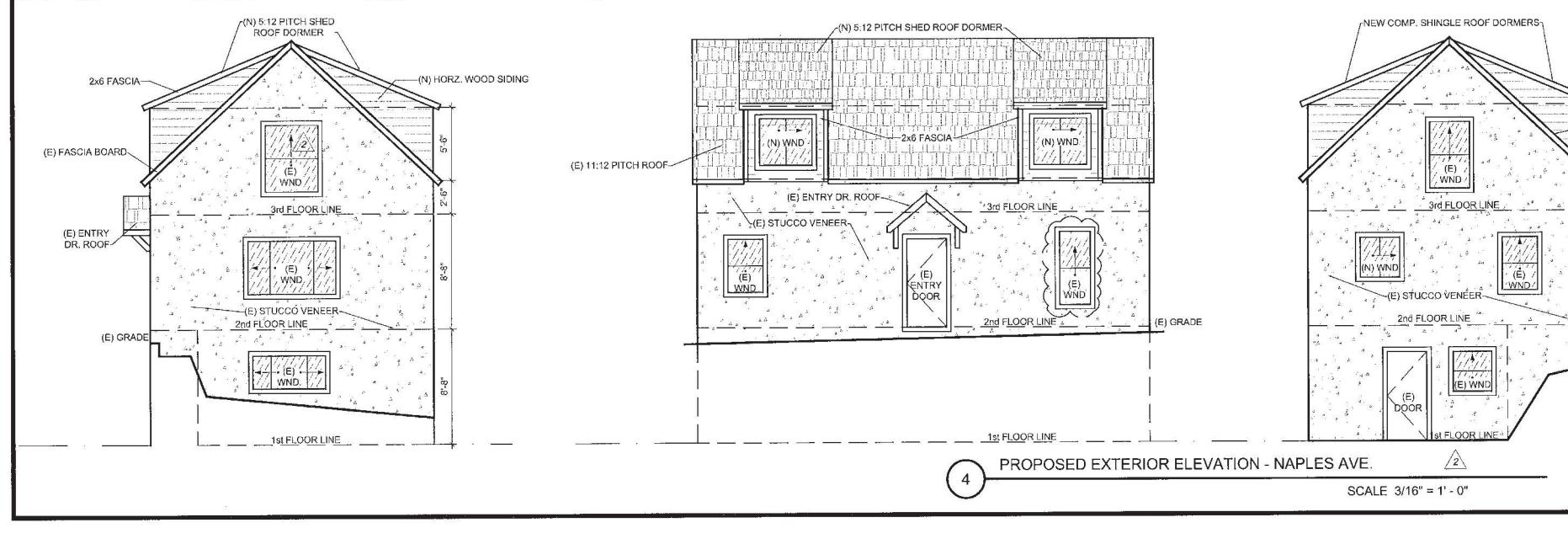


Bill Manfredi & Assoc.
 G.S.BLOCK INV. LLC.
 1515 2nd & 3rd FLOOR PLANS
 1200 1st FLOOR PLAN
 PROPOSED EXTERIOR ELEVATION
 925-413-7612 at Gallagher, P.O. BOX 523, BYRON, CA. 94514
 E-mail: bill.manfredi@bigblockpat@gmail.com

APPROVAL
 Dept. of Building Inspect
 JUN 11 2019
 TOM C. HUN, S.E.
 DEPT. OF BUILDING INSPECTION

RECEIVED
 MAY 25 2019
 Addition & Renovation at
 200 Naples St. San Francisco, Ca. 94112
 for owner: Pat Gallagher, Ph # 925-325-3911

Drawn by:
 Amilio Garcia
 DATE ISSUED
 May, 2019
 SHEET
 3
 OF
 3 SHEETS





OFFICIAL COPY

ABBREVIATIONS

DESCRIPTION

EXISTING	
ANCHOR BOLT ADD'L	ANCHOR ROD
BLKG	BLOCKING
BM	BEAM
BETWN	BETWEEN
CL	CENTER LINE
CLR	CLEAR OR CLEARANCE
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION(S)
CONT	CONTINUOUS
CTR	CENTER
CTR SK	COUNTERSINK
db	DIA METER OF BOLT OR REBAR
DEMO	DEMOLISH
DF	DOUGLAS FIR
DIA	DIA METER
DIM(S)	DIMENSION(S)
DWG(S)	DRAWING(S)
EA	EACH
EF	EACH FACE
EMBED	EMBEDMENT
EN	EDGE NAIL
EQ	EQUAL
EXP	EXPANSION
FN	FIELD NAILING
FND	FOUNDATION
FTG	FOOTING
GA	GAGE, GAUGE
GALV	GALVANIZED
GEN	GENERAL
HDR	HEADER
HGR	HANGER
HK	HOOK
HORIZ	HORIZONTAL
HSS	HOLLOW STRUCTURAL STEEL
INFO	INFORMATION
LONG	LONGITUDINAL
MAX	MAXIMUM
MB	UNFINISHED MACHINE BOLT
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
N/A	NOT APPLICABLE
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OH	OPPOSITE HAND
OPNG(S)	OPENING(S)
PL	PLATE
PLY	PLYWOOD
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
REINF	REINFORCE(D) (ING) OR (MENT)
REQD	REQUIRED
REV	REVISION
SCHED	SCHEDULE
SEOR	STRUCTURAL ENGINEER OF RECORD
SIM	SIMILAR
SOG	SLAB ON GRADE
SQ	SQUARE
STAGG'D	STAGGERED
STD	STANDARD
T&B	TOP AND BOTTOM
TO	TOP OF
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VERT	VERTICAL
VIF	VERIFY IN FIELD
W/	WITH
W/O	WITHOUT
WF	WIDE FLANGE

I. GENERAL REQUIREMENTS

A. THE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE. THE MEANS, METHODS, PROCEDURES AND SEQUENCE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.

B. DURING THE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF PERSONNEL AND PROPERTY ON AND AROUND THE JOBSITE. THE CONTRACTOR SHALL PROVIDE SHORING, BRACING, GUYS, ETC. IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL STANDARDS.

C. ALL CONSTRUCTION, TESTING, AND INSPECTIONS SHALL CONFORM TO THE BUILDING CODE REFERENCED UNDER THE HEADING 'BASIS OF DESIGN' BELOW.

D. STANDARDS REFERENCED IN THESE DRAWINGS SHALL BE THE LATEST EDITION, UNLESS OTHERWISE NOTED.

E. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE SEOR.

F. DO NOT SCALE THE DRAWINGS; USE WRITTEN DIMENSIONS ONLY. WHERE NO DIMENSIONS ARE PROVIDED OR WHERE DIMENSIONS PROVIDED CONFLICT WITH OTHER DRAWINGS, CONSULT THE SEOR.

G. WHERE MEMBER LOCATIONS ARE NOT DIMENSIONED, MEMBERS SHALL BE LOCATED ON COLUMN LINES OR EQUALLY SPACED BETWEEN MEMBERS ON COLUMN LINES OR BETWEEN MEMBERS OTHERWISE LOCATED. CENTERLINES OF COLUMNS, WALLS, FRAMING MEMBERS, AND FOUNDATIONS COINCIDE WITH GRIDLINES, UNLESS OTHERWISE NOTED.

H. TYPICAL DETAILS ARE INTENDED TO APPLY TO APPLICABLE SITUATIONS, UNLESS OTHERWISE NOTED. TYPICAL DETAILS MAY NOT BE SPECIFICALLY LOCATED.

I. DETAILS SHALL BE APPLIED TO EVERY LIKE CONDITION WHETHER OR NOT THEY ARE REFERENCED IN EVERY INSTANCE. FOR CONDITIONS NOT SPECIFICALLY SHOWN, USE DETAILS SIMILAR TO THOSE PROVIDED.

J. CONTRACTOR SHALL COORDINATE SEWER AND UTILITY LINE LOCATIONS WITH THE FOUNDATION LOCATIONS AND SIZES SHOWN ON THE STRUCTURAL DRAWINGS. ANY INTERFERENCE BETWEEN SEWER/UTILITY LINES AND FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE SEOR BEFORE PROCEEDING WITH THE WORK.

K. THE CONTRACTOR SHALL VERIFY THAT CONSTRUCTION LOADS DO NOT EXCEED THE CAPACITY OF THE STRUCTURE AT THE TIME THE LOADS ARE PLACED.

II. EXISTING CONSTRUCTION

A. WORK SHOWN IS NEW UNLESS OTHERWISE NOTED AS EXISTING, (E).

B. EXISTING CONSTRUCTION SHOWN IN THESE DRAWINGS WAS OBTAINED FROM LIMITED SITE INVESTIGATIONS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, VERIFY DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE SEOR OF ALL DISCREPANCIES AND EXCEPTIONS BEFORE PROCEEDING WITH THE WORK.

C. THE REMOVAL, CUTTING, DRILLING, ETC. OF EXISTING WORK SHALL BE PERFORMED WITH GREAT CARE AND SMALL TOOLS IN ORDER TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING. IF EXISTING STRUCTURAL MEMBERS NOT INDICATED FOR REMOVAL INTERFERE WITH THE NEW WORK, THE SEOR SHALL BE NOTIFIED IMMEDIATELY. APPROVAL SHALL BE OBTAINED PRIOR TO REMOVAL OF THE EXISTING MEMBERS.

D. THE CONTRACTOR SHALL SAFELY SHORE EXISTING CONSTRUCTION WHEREVER EXISTING SUPPORTS ARE REMOVED TO ALLOW INSTALLATION OF THE NEW WORK. THE EXISTING CONSTRUCTION SHALL BE CONNECTED AND/OR EMBEDDED INTO THE NEW CONSTRUCTION AS SHOWN OR SPECIFIED.

E. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BEFORE BEGINNING WORK. SPECIAL CARE SHALL BE TAKEN TO PROTECT UTILITIES THAT ARE TO REMAIN IN SERVICE DURING CONSTRUCTION.

F. THE CONTRACTOR SHALL PROMPTLY REPAIR DAMAGE CAUSED DURING OPERATIONS WITH SIMILAR MATERIALS AND WORKMANSHIP.

G. THE CONTRACTOR SHALL LOCATE EXISTING REINFORCING STEEL WHERE EXISTING CONCRETE IS TO BE CUT, CORED OR SAWN. LOCATION SHALL BE DONE USING A NON-DESTRUCTIVE METHOD. DO NOT DAMAGE EXISTING REINFORCING WITHOUT NOTIFYING THE SEOR.

III. BASIS OF DESIGN

A. THE STRUCTURAL DESIGN OF THIS PROJECT IS GOVERNED BY THE 2016 CALIFORNIA BUILDING CODE (CBC) WITH 2016 SAN FRANCISCO BUILDING CODE AMENDMENTS.

B. RISK CATEGORY = II

C. LIVE LOADS:

- 1. FLOOR = 40 PSF
- 2. ROOF = 20 PSF

D. WIND DESIGN DATA:

- 1. V = 110 MPH
- 2. EXPOSURE CATEGORY = B
- 3. Kz = 1.0

E. SEISMIC DESIGN DATA:

- 1. I = 1.0
- 2. SDS = 1.134
- 3. SD1 = 0.785
- 4. SITE CLASS = D
- 5. SEISMIC DESIGN CATEGORY = E
- 6. R = 6.5 FOR PLYWOOD SHEAR WALLS
- 7. ANALYSIS PROCEDURE = EQUIVALENT LATERAL FORCE PROCEDURE
- 8. REDUNDANCY FACTOR = 1.3

IV. FOUNDATIONS

A. FOUNDATIONS ARE DESIGNED IN ACCORDANCE WITH CHAPTER 18 TABLE 1806.2 OF THE 2016 CBC.

B. SPREAD FOOTINGS HAVE BEEN DESIGNED ASSUMING AN ALLOWABLE BEARING PRESSURE OF 1500 PSF WITH A ONE-THIRD INCREASE FOR SEISMIC LOADING.

V. CONCRETE

A. MIXING, BATCHING, TRANSPORTING AND PLACING OF ALL CONCRETE SHALL CONFORM TO ACI 301, SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS.

B. ALL CONCRETE SHALL BE THOROUGHLY CONSOLIDATED.

C. ALL CONCRETE SHALL USE TYPE II OR I/IV CEMENT.

D. THE SCHEDULE BELOW INDICATES THE MINIMUM CONCRETE DESIGN MIX REQUIREMENTS. SEE THE SPECIFICATIONS FOR ADDITIONAL CONCRETE PROPERTIES.

TYPE	LOCATION	MINIMUM 28-DAY STRENGTH (PSI)	MAXIMUM WEIGHT (PCF)
A	FOOTINGS	2500	150
B	SLAB ON GRADE	2500	150

E. SLAB-ON-GRADE CONCRETE SHALL HAVE A MAXIMUM WATER-CEMENT RATIO OF 0.45.

F. CONCRETE CLEAR COVER OVER MILD REINFORCING STEEL SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:

1. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3"
2. CONCRETE EXPOSED TO EARTH OR WEATHER:
 - a. NO. 5 BARS AND SMALLER = 1-1/2"
 - b. NO. 6 BARS AND LARGER = 2"
3. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
 - a. SLABS, WALLS, JOISTS:
 - i. NO. 11 BARS AND SMALLER = 3/4"
 - b. BEAMS, COLUMNS:
 - i. PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS = 1-1/2"

G. NON-SHRINK GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 6000 PSI AT 28 DAYS.

VI. REINFORCING STEEL

A. ALL REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO THE REQUIREMENTS OF ASTM A615 AND ASTM A706 WHERE REQUIRED; ALL BARS TO BE GRADE 60 UNLESS OTHERWISE NOTED.

B. DETAIL REINFORCING STEEL BASED ON THE PROJECT REQUIREMENTS, ACI 318, AND ACI 315.

C. TERMINATION OF REINFORCEMENT:

1. TERMINATE ALL BARS IN LAPS, 90 DEGREE BENDS OR WITH DOWELS EPOXIED INTO EXISTING CONCRETE.
2. WHERE A 90 DEGREE, 135 DEGREE OR 180 DEGREE HOOK IS GRAPHICALLY INDICATED, PROVIDE CORRESPONDING ACI STANDARD HOOK PER DETAILS 2 AND 3/S5.0

E. SPLICES

1. LAP REINFORCING STEEL AS SPECIFICALLY DETAILED ON THE DRAWINGS. SEE REBAR OFFSET AND LAP SPLICE SCHEDULE IN DETAIL 7/S5.0
2. UNLESS OTHERWISE NOTED, ALL LAP SPLICES ARE TO BE CLASS B.
3. MECHANICAL SPLICES, IF USED AT CONTRACTOR'S OPTION, SHALL BE ICC-ES APPROVED AND CAPABLE OF DEVELOPING 125% OF THE SPECIFIED MINIMUM YIELD STRENGTH OF THE BAR IN TENSION OR COMPRESSION.

VII. WOOD

A. ALL WOOD FRAMING SHALL CONFORM TO NATIONAL DESIGN SPECIFICATIONS (NDS) FOR WOOD CONSTRUCTION AND APA PDS, PLYWOOD DESIGN SPECIFICATION.

B. ALL WOOD FRAMING SHALL BE DOUGLAS FIR LARCH. GRADE SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:

1. JOISTS = NO. 2
2. BEAMS = NO. 2
3. WALL STUDS = NO. 2
4. SILL PLATES = PRESSURE TREATED, NO. 2
5. TOP PLATES = NO. 2
6. POSTS = NO. 2
7. BLOCKING AND MISCELLANEOUS = NO. 2

C. UNLESS OTHERWISE NOTED ON PLAN, LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2,900 PSI; E = 2,000,000 PSI. PARALLEL STRAND LUMBER (PSL) MAY BE USED IN LIEU OF LVL AND SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2,900 PSI; E = 2,000,000.

D. ALL LUMBER IN CONTACT WITH CONCRETE 0'-8" OR LESS ABOVE THE GROUND SHALL BE PRESSURE TREATED.

E. MAXIMUM MOISTURE CONTENT SHALL BE 15% AT TIME OF FRAMING FOR NEW WOOD MEMBERS ADJACENT TO EXISTING WOOD MEMBERS. ALL OTHER MEMBERS SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 18% AT TIME OF FRAMING. REFER TO ARCHITECTURAL DRAWINGS, PROJECT SPECIFICATIONS AND CLADDING MANUFACTURERS' INFORMATION FOR MORE STRINGENT MOISTURE CONTENT REQUIREMENTS.

F. STRUCTURAL SHEATHING SHALL BE AS FOLLOWS (MIN THICKNESS AND MIN APA RATING):

1. WALLS = 1/2", SPAN RATING = 32/16, STRUCT 1, EXPOSURE 1
2. FLOORS = 3/4", SPAN RATING = 32/16, STRUCT 1, EXPOSURE 1
3. ROOFS = 5/8", SPAN RATING = 32/16, STRUCT 1, EXPOSURE 1

G. WOOD CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON STRONG TIE OR EQUAL PRODUCT IF APPROVED BY SEOR. SIMPSON DESIGNATIONS USED IN THESE DRAWINGS.

H. NAILS SHALL BE COMMON WIRE GAGE, UNLESS OTHERWISE NOTED AND CONFORM TO CBC TABLE 2304.9.1.

I. LAG BOLTS AND UNFINISHED MACHINE BOLTS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD.

J. ANCHOR RODS SHALL CONFORM TO ASTM F1554 GR 38.

K. FASTENERS INSTALLED IN PRESSURE TREATED OR FIRE RETARDANT TREATED WOOD SHALL BE GALVANIZED.

VIII. POST-INSTALLED ANCHORS

- A. DO NOT DAMAGE OR CUT EXISTING REINFORCING STEEL WHILE INSTALLING POST-INSTALLED ANCHORS. NOTIFY SEOR IF EXISTING REINFORCING STEEL INTERFERES WITH INSTALLATION OF POST-INSTALLED ANCHORS.
- B. ALL MIS-DRILLED OR UNACCEPTABLE HOLES SHALL NOT BE USED AND SHALL BE GROUTED SOLID.
- C. ALL POST-INSTALLED ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE ICC-ES REPORT AND MANUFACTURER'S RECOMMENDATIONS.
- D. PROVIDE SPECIAL INSPECTION FOR THE INSTALLATION OF ALL POST-INSTALLED ANCHORS, UNLESS OTHERWISE NOTED.

E. EPOXY ANCHORS AND REINFORCING STEEL DOWELS

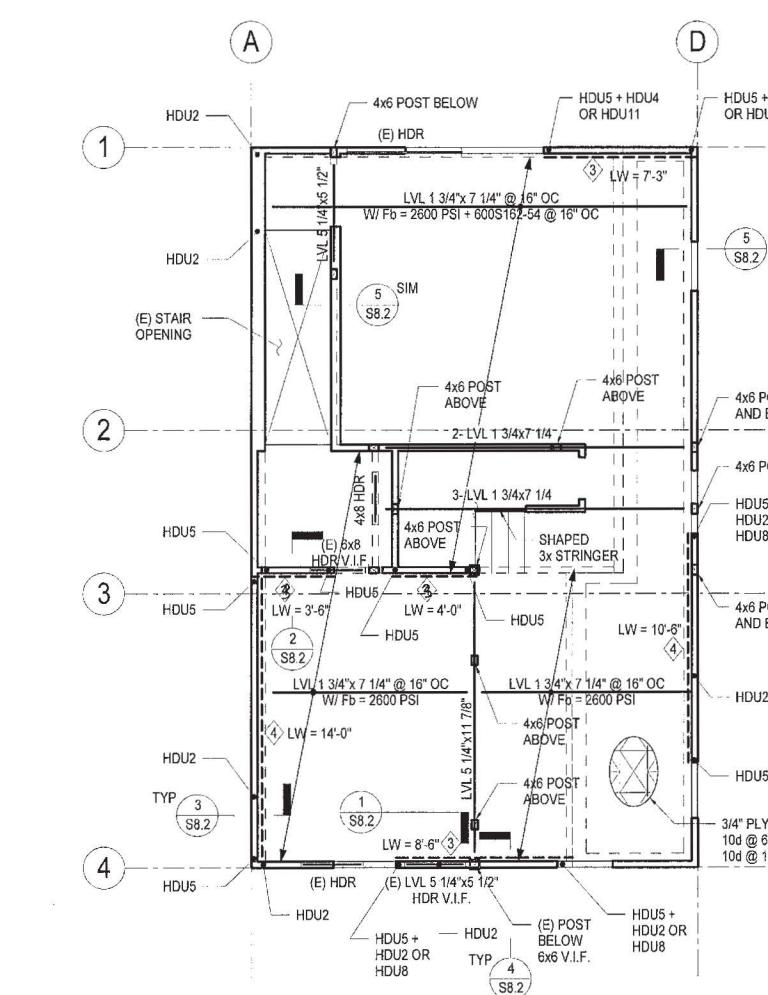
1. FOR INSTALLATION IN CONCRETE, EPOXY SHALL BE ONE OF THE FOLLOWING:
 - a. SET-XP PER ICC-ES ESR-2508 AS MANUFACTURED BY SIMPSON STRONG TIE
 - b. HIT-RE 500-SD PER ICC-ES ESR-2322 AS MANUFACTURED BY HILTI, INC.
 - c. HY-200 MAX-SD PER ICC-ES ESR-2013 AS MANUFACTURED BY HILTI, INC.
2. EPOXIED ANCHOR RODS SHALL BE CARBON STEEL THREADED RODS PER APPROPRIATE ICC-ES REPORT; EPOXIED REINFORCING STEEL DOWELS SHALL BE ASTM A615 GR 60 UNLESS OTHERWISE NOTED.
3. MINIMUM ANCHOR EMBEDMENT AND TENSION TEST VALUES ARE AS FOLLOWS:

EPOXY ANCHORS IN NORMAL-WEIGHT CONCRETE (fc = 3000 PSI MIN)				
REBAR SIZE	EMBED (IN)	TENSION TEST VALUE (LBS)		
		HY-200 MAX-SD	HIT-RE 500-SD	SET-XP
#3	3	3360	3510	3400
#4	4	6010	6150	5690
#5	5	9940	9330	7640
#6	6	13660	12860	9770

EPOXY ANCHORS IN NORMAL-WEIGHT CONCRETE (fc = 3000 PSI MIN)			

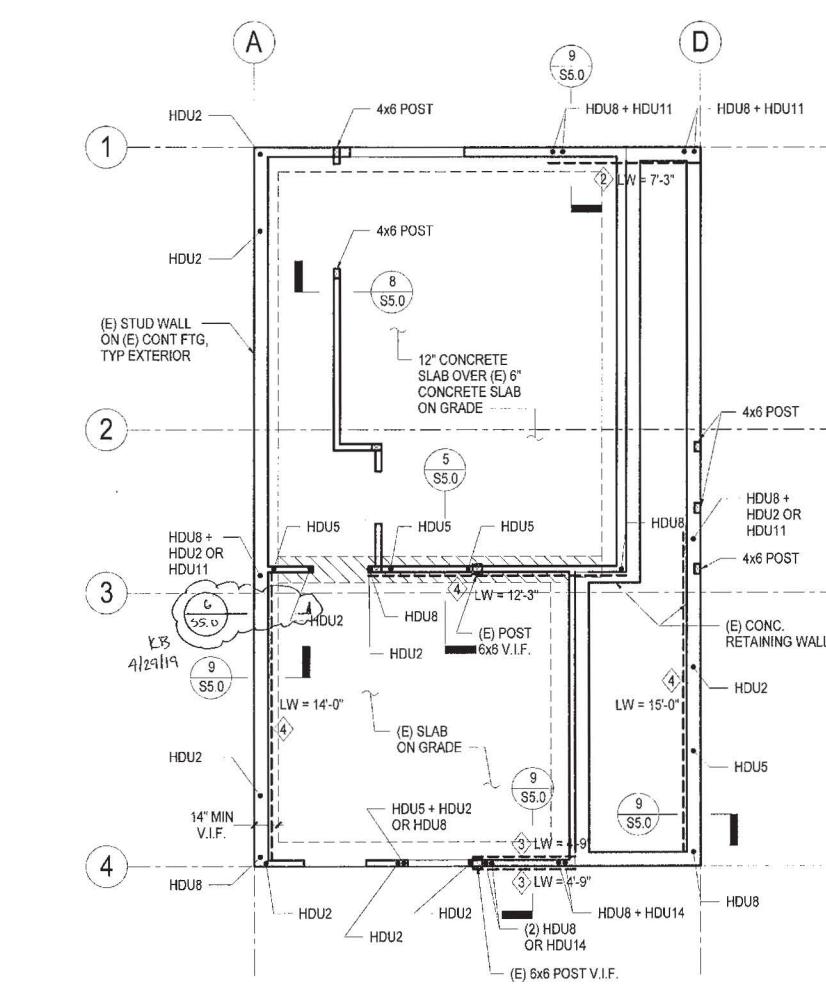


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2ND FLOOR FRAMING PLAN

1/4" = 1'-0"



FOUNDATION PLAN

1/4" = 1'-0"

Stephan Leung, S.E.
MAY 23 2019

DATE:	SCALE:	DRAWN:
04/24/2019	AS NOTED	TTD
FOUNDATION AND 2ND FLOOR FRAMING PLANS		
S2.0		

PROJECT:
200 NAPLES
REMODEL AND
DORMER ADDITION

OWNERS:
PATRICK GALLAGHER
P.O. BOX 532
BYRON, CA 94514

NO.	ISSUE:	DATE:

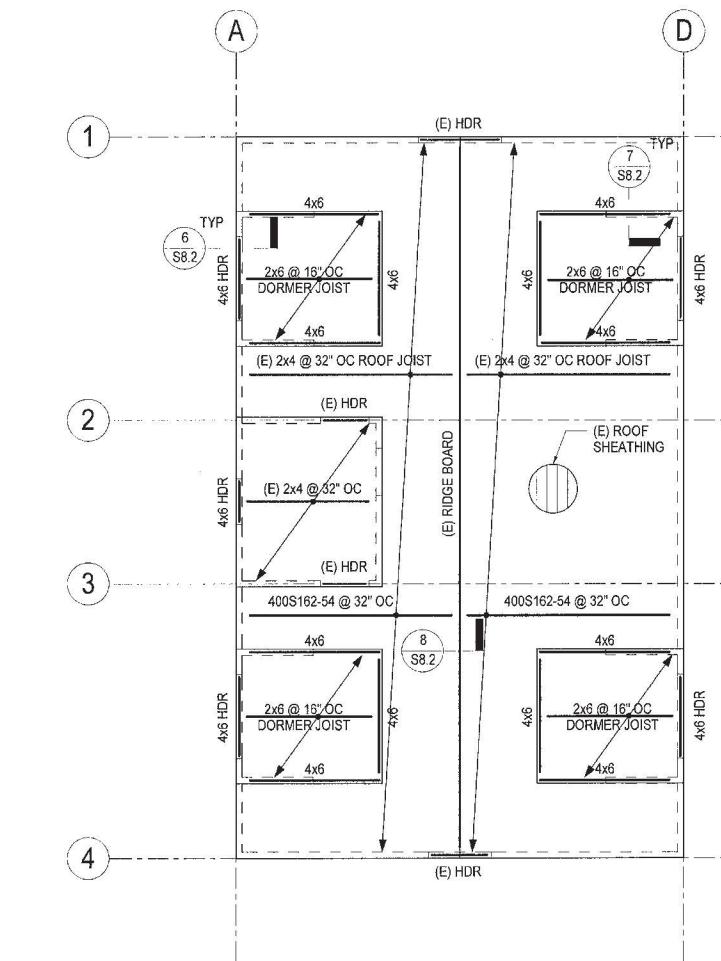
BASE DESIGN
555 MARKET ST, STE 1402
SAN FRANCISCO, CA 94104
Office: (415) 466-2997
www.BASEdesigninc.com



APPROVED
Dept. of Building Inspect
JUN 11 2019
TOM C. HU, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

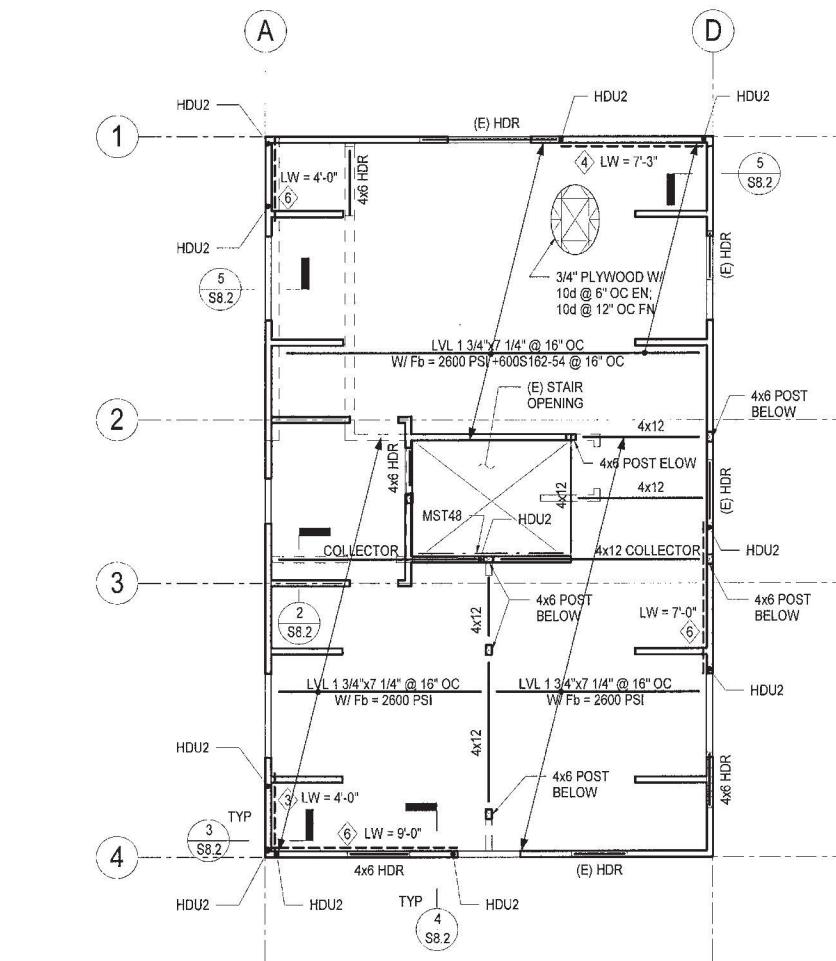
RECEIVED
APR 29 2019
DEPT. OF BUILDING INSPECT
THIS PLAN MEETS THE QUALITY FOR BUILDING
ACCEPTED

NOTES:
 1. SEE FRAMING PLAN NOTES ON SHEET S2.0.
 2. (E) NON-STRUCTURAL WALLS ARE NOT SHOWN FOR CLARITY.
 3. PROVIDE 5/8" PLYWOOD W/ 10d @ 6" OC EN; 10d @ 12" OC FN AT DORMER ROOFS.



② ROOF FRAMING PLAN

1/4" = 1'-0"



① 3RD FLOOR FRAMING PLAN

1/4" = 1'-0"

PROJECT:
200 NAPLES
REMODEL AND
DORMER ADDITION

OWNERS:
PATRICK GALLAGHER
P.O. BOX 532
BYRON, CA 94514

NO.	ISSUE:	DATE:

BASE
DESIGN

592 MARKET ST, STE. 1402
 SAN FRANCISCO, CA 94104
 Office: (415) 466-2997
 www.BASEdesigninc.com



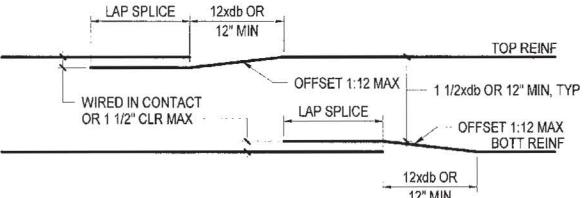
APPROVED
 Dept. of Building Insp.
 JUN 11 2019
 Tom C. H. H.
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

RECEIVED
 APR 29 2019
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY FOR INSPECTION
 ACCEPTED

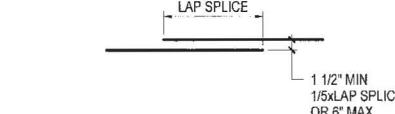
DATE:	SCALE:	DRAWN:
04/24/2019	AS NOTED	TTD
3RD FLOOR AND ROOF FRAMING PLANS		
S2.1		

CONCRETE STRENGTH REINFORCING CONFIGURATION	3000 PSI				4000 PSI			
	CASE 1		CASE 2		CASE 1		CASE 2	
	BAR LOCATION	TOP	OTHER	TOP	OTHER	TOP	OTHER	TOP
BAR SIZE	#3	22	17	32	25	19	15	28
	#4	29	22	43	33	25	19	37
	#5	36	28	54	41	31	24	47
	#6	43	33	64	50	37	29	56
	#7	63	48	94	72	54	42	81
CLASS B LAP SPLICES (INCHES)	#3	28	22	42	32	24	19	36
	#4	37	29	56	43	32	25	48
	#5	47	36	70	54	40	31	60
	#6	56	43	84	64	48	37	72
	#7	81	63	122	94	70	54	106
								81

NOTES:
1. VALUES IN THE TABLE ARE FOR NON-EPOXY COATED GRADE 60 REINFORCING STEEL AND NORMAL WEIGHT CONCRETE.
2. CASES 1 AND 2 ARE DEPENDENT ON THE TYPE OF CONCRETE ELEMENT, CONCRETE COVER AND CENTER-TO-CENTER SPACING OF REINFORCING BARS. THEY ARE DEFINED AS:
CASE 1:
- CONCRETE COVER \geq db
- CENTER-TO-CENTER SPACING \geq 2x db, AND
- STIRRUPS OR TIES PROVIDED THROUGHTOUT Id
OTHER ELEMENTS:
- CONCRETE COVER \geq db AND
- CENTER-TO-CENTER SPACING \geq 3x db
CASE 2:
BEAM AND COLUMNS:
- CONCRETE COVER $<$ db
- CENTER-TO-CENTER SPACING $<$ 2x db
OTHER ELEMENTS:
- CONCRETE COVER $<$ db AND
- CENTER-TO-CENTER SPACING $<$ 2x db
3. TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" OF FRESH CONCRETE BELOW. OTHER BAR INCLUDE ALL VERTICAL REINFORCING, ALL HORIZONTAL WALL REINFORCING AND HORIZONTAL REINFORCING WITH LESS THAN 12" OF FRESH CONCRETE BELOW BAR.
4. PROVIDE CLASS B LAP SPLICES, U.O.N.
5. SPLICES OF HORIZONTAL REINFORCING BARS IN WALLS AND SLABS SHALL BE STAGGERED. SPLICES OF HORIZONTAL REINFORCING BARS IN WALLS AND SLABS CONTAINING TWO CURTS OF REINFORCEMENT SHALL NOT OCCUR IN THE SAME LOCATION; SPLICES SHALL BE OFFSET BY THE MAXIMUM OF 12 INCHES AND 12 BAR DIAMETERS.
6. MECHANICAL COUPLERS MAY BE USED IN LIEU OF LAP SPLICES. MECHANICAL COUPLERS SHALL HAVE AN APPROVED ICC REPORT AND RESIST 125% OF REINFORCING BAR YIELD STRENGTH.
7. WHERE BARS OF DIFFERENT SIZES ARE SPLICED, SPLICE LENGTH SHALL BE THE MAXIMUM OF Id OF THE LARGER BAR AND THE LAP SPLICE LENGTH OF THE SMALLER BAR.
8. LAP TOP BARS AT MIDSPAN AND BOTTOM BARS AT SUPPORT, U.O.N.
9. NON-CONTACT LAP SPLICED BARS SHALL BE SPACED AT LEAST 1 1/2" AND NO MORE THAN THE MAXIMUM OF ONE-FIFTH OF THE LAP SPLICE AND 6"



(a) BEAM SPLICE DETAIL



(b) NON-CONTACT LAP SPLICE

PROJECT:
200 NAPLES
REMODEL AND
DORMER ADDITION

OWNERS:
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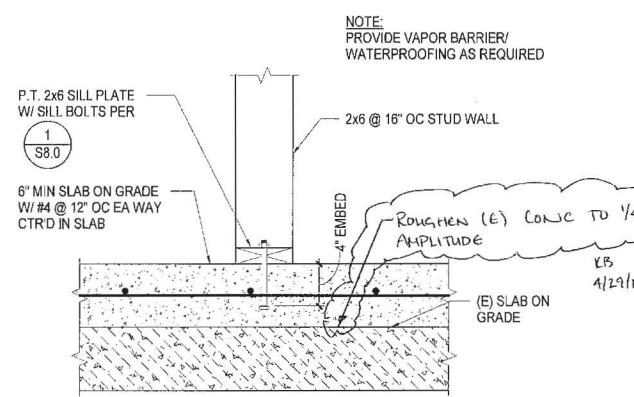


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JUN 11 2019
Tom C. Hsu
DIRECTOR
DEPT. OF BUILDING INSPECTION

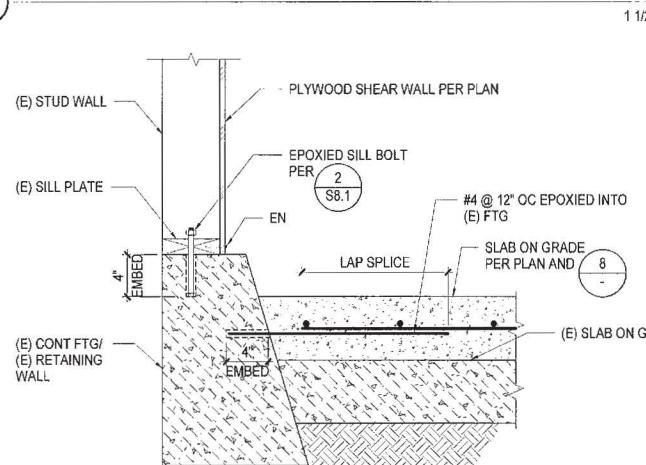
RECEIVED
APR 29 2019
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE REQUIREMENTS FOR THE DRAFTING
ACCEPTED

DATE: 04/24/2019 AS NOTED
SCALE: TTD
DRAWN: MAY 23 2019
TYPICAL CONCRETE DETAILS
S5.0

7 LAP SPLICE + STRAIGHT BAR DEVELOPMENT LENGTHS



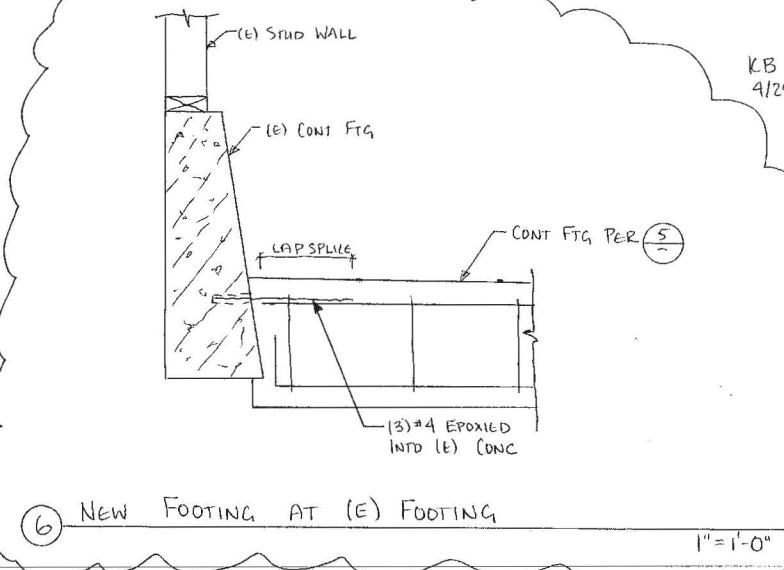
8 BEARING WALL AT SLAB ON GRADE



9 NEW SHEARWALL AT (E) FTG/ (E) RETAINING WALL

1 1/2" = 1'-0"

5 CONTINUOUS FOOTING DETAIL



6 NEW FOOTING AT (E) FOOTING

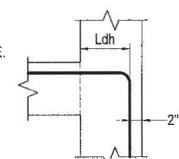
1" = 1'-0"

2 TYPICAL BAR HOOKS

BAR SIZE	HOOKED BAR DEVELOPMENT LENGTH, Ldh		
	CONCRETE STRENGTH	3000 PSI	4000 PSI
#3		0'-8"	0'-7"
#4		0'-11"	0'-9"
#5		1'-2"	1'-0"

NOTES:
1. THE HOOKED BAR DEVELOPMENT LENGTHS IN THIS TABLE ARE FOR NORMALWEIGHT CONCRETE.

2. THE HOOKED BAR DEVELOPMENT LENGTHS IN THIS TABLE APPLY TO MEMBERS WITH:
a. SIDE COVER EQUAL TO AT LEAST 2 1/2".
b. END COVER EQUAL TO AT LEAST 2".



3 HOOKED BAR DEVELOPMENT LENGTHS

NTS

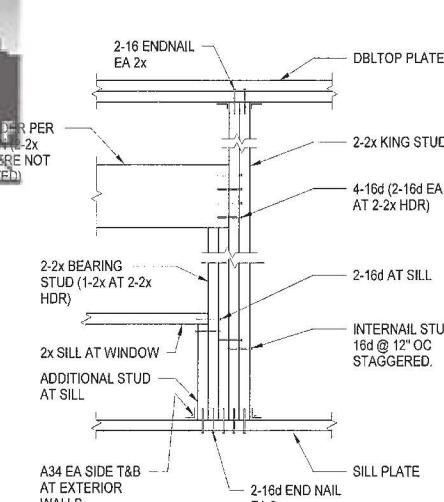
S5.0



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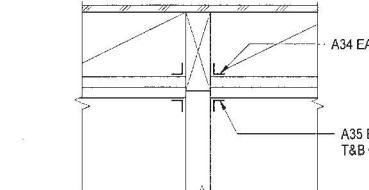
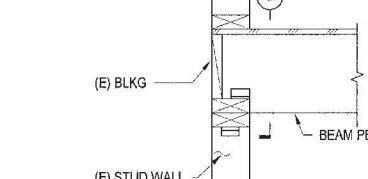
7 WALL OPENING

1" = 1'-0"



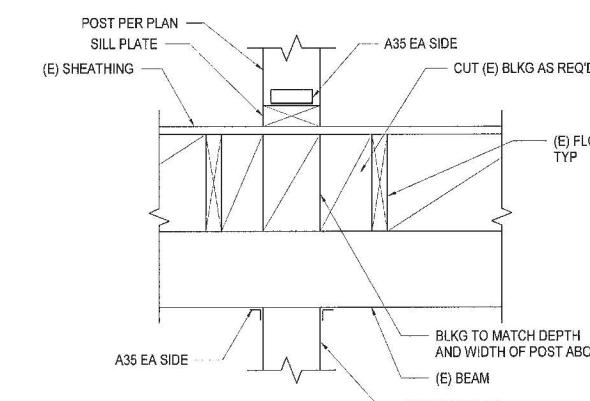
4 BEAM AND POST CONNECTION

1" = 1'-0"



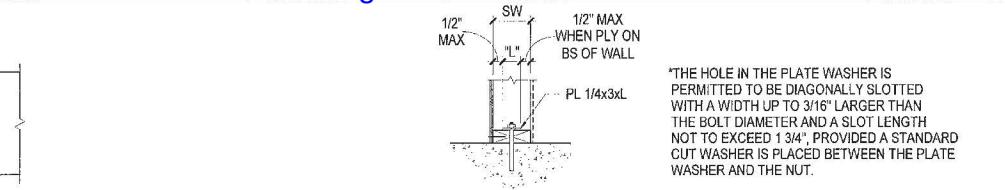
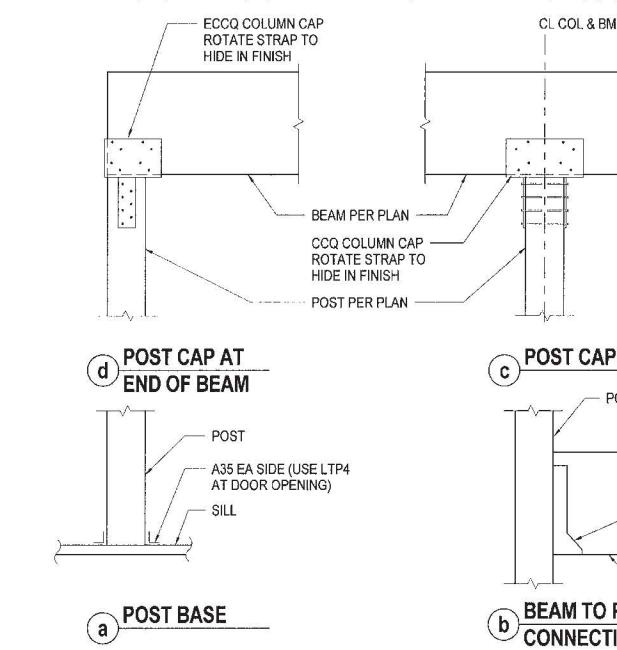
5 BEAM TO POST CONNECTION

1" = 1'-0"

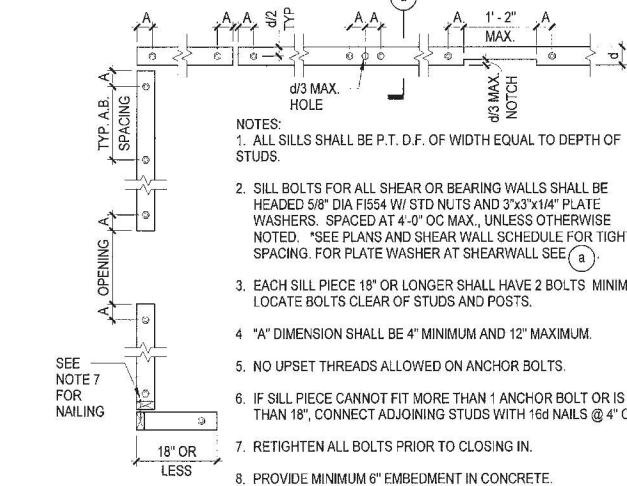


6 POST DETAIL AT SECOND FLOOR

1 1/2" = 1'-0"

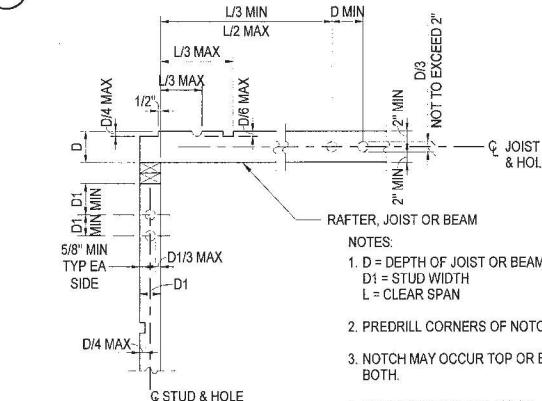


a SECTION AT SHEAR WALL



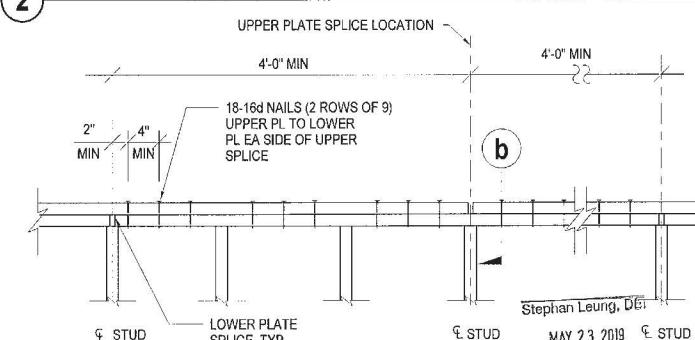
1 ANCHOR BOLT AND SILL PLATE

NTS

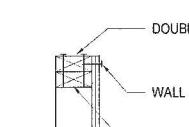


2 HOLES AND NOTCHING IN FRAMING MEMBERS

NTS

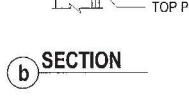


a TYPICAL DOUBLE TOP PLATE SPLICE



3 DOUBLE TOP PLATE SPLICE

NTS



PROJECT:
200 NAPLES
REMODEL AND
DORMER ADDITION

OWNERS:
PATRICK GALLAGHER
P.O. BOX 532
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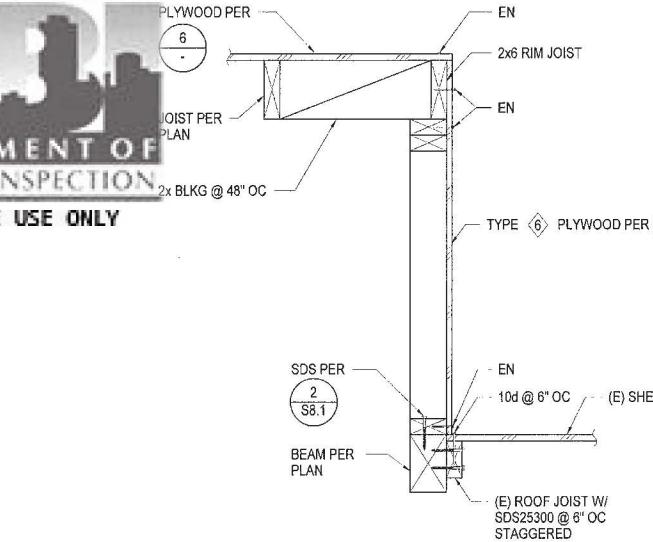


APPROVED
Dept. of Building Inspect.
JUN 11 2019

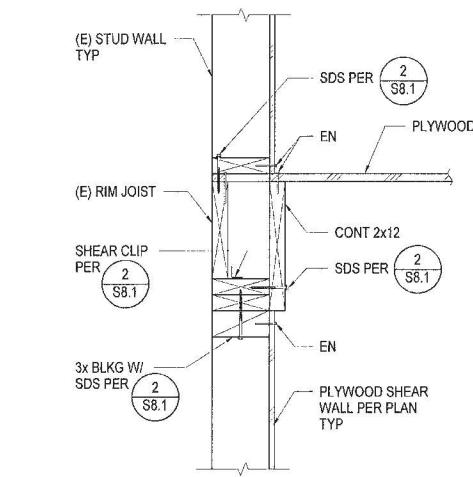
Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED
APR 29 2019
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE STANDARDS FOR ACCEPTANCE

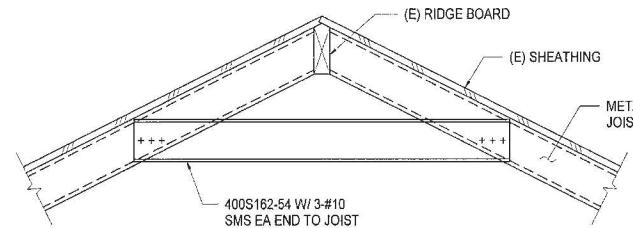
DATE:	SCALE:	DRAWN:
04/24/2019	AS NOTED	TTD
TYPICAL WOOD DETAILS		
S8.0		



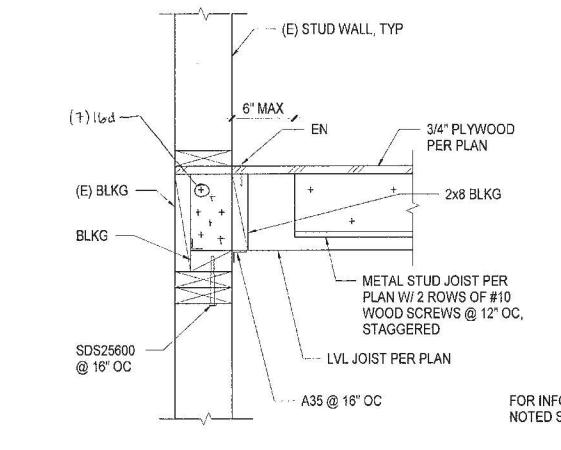
7 DETAIL AT DORMER



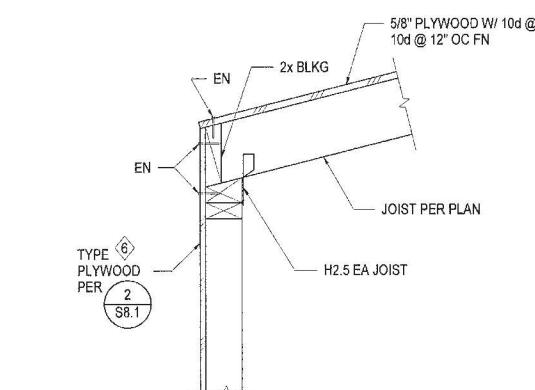
4 FLOOR DETAIL AT EXTERIOR WALL



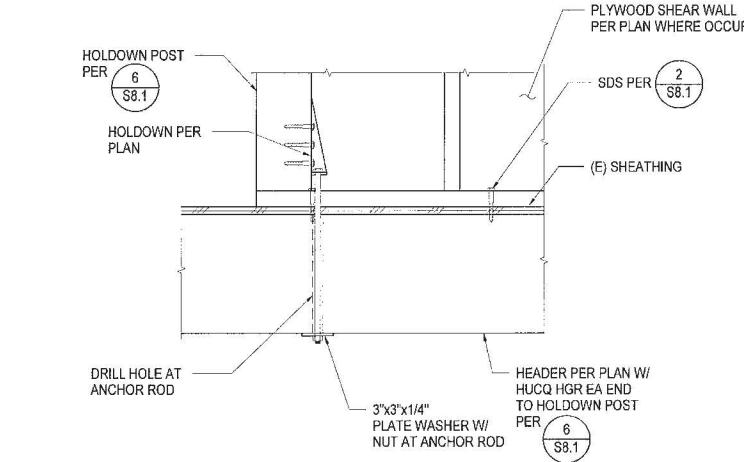
8 RIDGE DETAIL AT METAL STUD JOIST



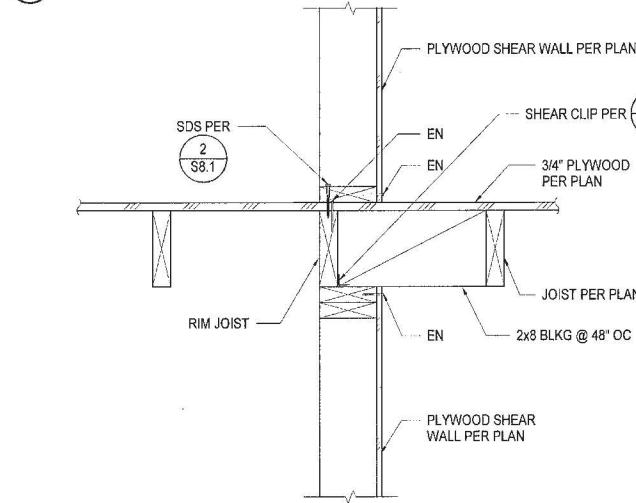
5 LVL + METAL STUD FLOOR JOIST AT EXTERIOR WALL



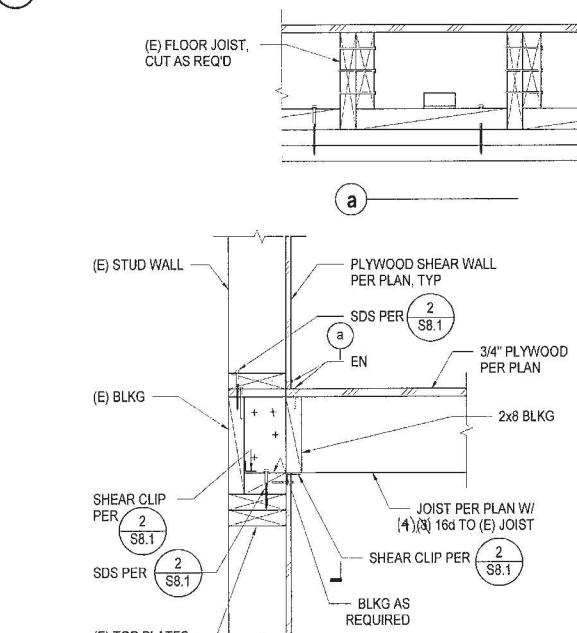
6 SECTION AT DORMER



1 HOLDDOWN AT HEADER



2 DETAIL AT 2ND FLOOR SHEAR WALL



3 FLOOR DETAIL AT EXTERIOR WALL

PROJECT:
**200 NAPLES
 REMODEL AND
 DORMER ADDITION**

OWNERS:
**PATRICK GALLAGHER
 P.O. BOX 532
 BYRON, CA 94514**

NO.	ISSUE:	DATE:

**BASE
 DESIGN**
 602 MARKET ST, STE 1402
 SAN FRANCISCO, CA 94104
 Office: (415) 499-2997
 www.BASEdesigninc.com



APPROVED
 JUN 11 2019
 TONI C. HU
 DEPT. OF BUILDING INSPECTION

RECEIVED
 APR 29 2019
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARDS FOR WHICH IT WAS
 ACCEPTED

DATE:	SCALE:	DRAWN:
04/24/2019	AS NOTED	TTD

FLOOR FRAMING DETAILS

Stephen Leung, L
 MAY 23 2019

S 8.2



London N. Breed, Mayor
Tom C. Hui, S.E., C.B.O., Director

Attachment A

SLOPE AND SEISMIC HAZARD ZONE PROTECTION CHECKLIST

A COPY OF THIS DOCUMENT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION

JOB ADDRESS 200 NAPLES APPLICATION NO. ADDENDUM NO.
OWNER NAME PAUL GALLAGHER OWNER PHONE NO. (415) 325-3911

1: PROPERTY LOCATION			3: PROPOSED CONSTRUCTION				
<p>EARTHQUAKE INDUCED LANDSLIDE AREA ON THE STATE OF CALIFORNIA DEPARTMENT OF CONSERVATION DIVISION OF MINES AND GEOLOGY (CDMG) SEISMIC HAZARD ZONES MAP FOR SAN FRANCISCO, RELEASED NOVEMBER 17, 2000.</p>			YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	<p>CONSTRUCTION OF NEW BUILDING OR STRUCTURE HAVING OVER 1000 SQFT OF NEW PROJECTED ROOF AREA</p> <p>HORIZONTAL OR VERTICAL ADDITIONS HAVING OVER 500 SQFT OF NEW PROJECTED ROOF AREA</p> <p>SHORING</p> <p>UNDERPINNING</p> <p>GRADING, INCLUDING EXCAVATION OR FILL, OF OVER 50 CUBIC YARDS OF EARTH MATERIAL</p>	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>
2: AVERAGE SLOPE OF PROPERTY			<p>CONSTRUCTION ACTIVITY LISTED BELOW DETERMINED BY THE BUILDING OFFICIAL THAT MAY HAVE A SUBSTANTIAL IMPACT ON THE SLOPE STABILITY:</p> <p>RETAINING WALL:</p> <p>OTHERS: _____</p>			YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>
<p>PROPERTY EXCEEDING AN AVERAGE SLOPE OF 4H:1V (25%) GRADE</p> <p>(APPLICANT WILL NEED TO INCLUDE PLANS ILLUSTRATING SLOPE OF THE PROPERTY AND/OR INCLUDE A SURVEY VERIFYING THE SLOPE OF THE PROPERTY)</p>			YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>		YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

SECTION 4: LICENSED DESIGN PROFESSIONAL, VERIFICATION AND SIGNATURES

Under penalty of perjury, I certify that the information provided on this form is based on my personal review of the building and its records, or review by others acting under my direct supervision, and is correct to the best of my knowledge.

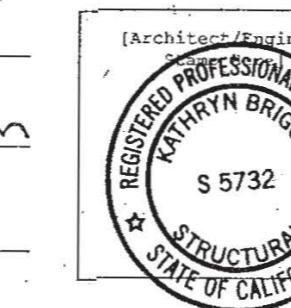
Prepared by: KATHRYN BRIGGS
Engineer/Architect of Record

650-796-8290
Telephone

katy@basedesigninc.com
Email

04/29/2019
Signature

04/29/2019
Date



Technical Services Division
1660 Mission Street, San Francisco CA 94103
Office (415) 558-6205 - FAX (415) 558-6401 - www.sfdbi.org

FOR DBI USE ONLY

ASSIGNMENT OF REVIEW TIER

EXEMPTED: Reports per Section E and Third Party Peer Review Not Required

If the box in Section 1 "Property Location" **AND** the box in Section 2 "Average Slope of Property" are marked "No" **OR** if all the boxes in Section 3 "Proposed Construction" are marked "No", reports per Section E and Third Party Peer Review are exempted by the SSPA.

TIER I: Reports per Section E Required but Third Party Peer Review Not Required

If the box in Section 2 "Average Slope of Property" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes" **AND** the property does not lie within any areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E only.

TIER II: Reports per Section E and Third Party Peer Review Required

If the box in Section 2 "Average Slope of Property" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes" **AND** the property lies within the areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to a third party peer review. At the discretion of the SSPA Review Committee, the peer review may be followed by the establishment of a Structural Advisory Committee (SAC) with the project reassigned to Tier III.

If the DBI Plan Review Engineer (or the SSPA Review Committee, if established), in their discretion, determines from the submitted documents that the project has a substantial impact on the slope stability of the site or creates a potential for earthquake induced landslide hazards, DBI may require that the third party peer review be followed by the establishment of a Structural Advisory Committee (SAC) and re-assigned the project to Tier III.

TIER III: Structural Advisory Committee (SAC) Review

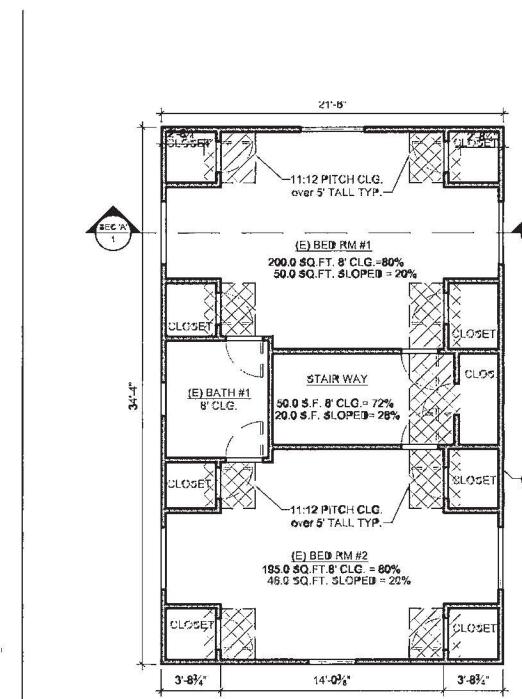
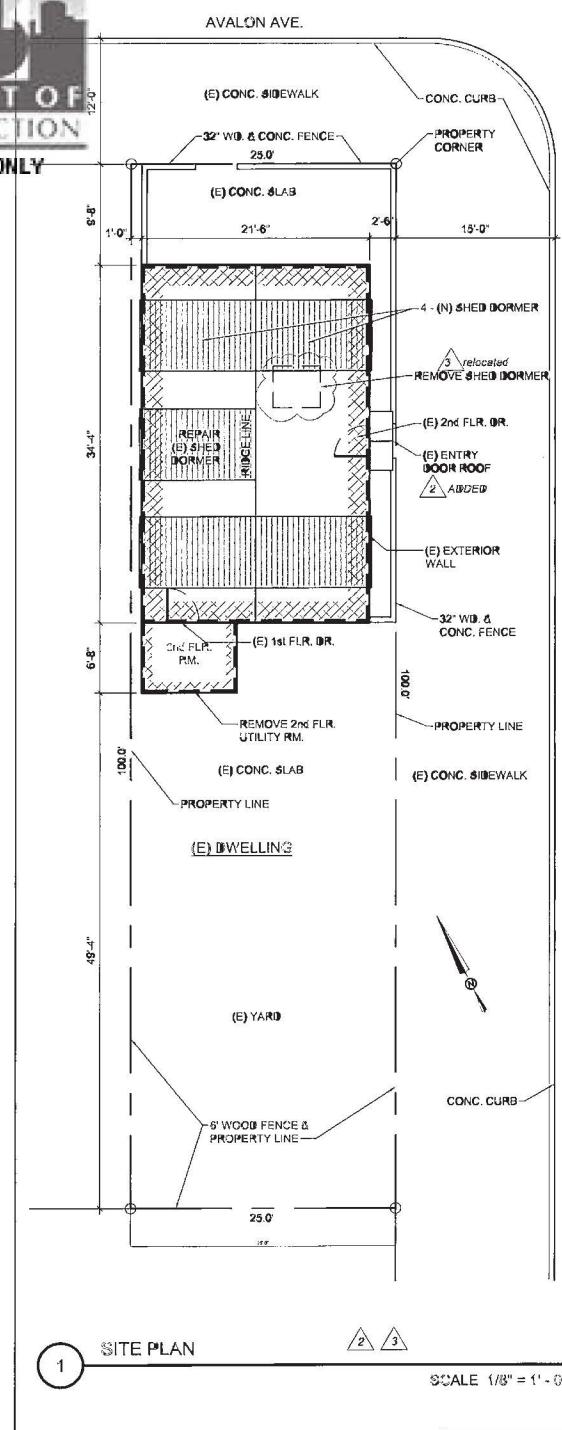
If the box in Section 1 "Property Location" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes", DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to review by a Structural Advisory Committee (SAC), as defined by SFBC Section 105A.6. **Stephan Leung, DBI**

Tier assigned by: APR 29 2019 DBI Plan Review Engineer Phone: (415) 558-6493

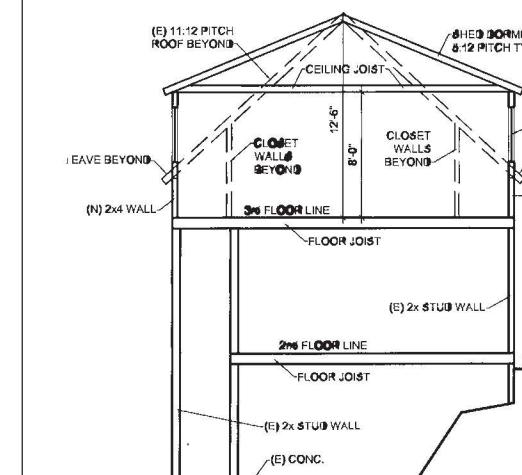
Comment: _____



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AREA CALCULATION PER C.B.C. SECTION 1208, INTERIOR SPACE DIMENSIONS

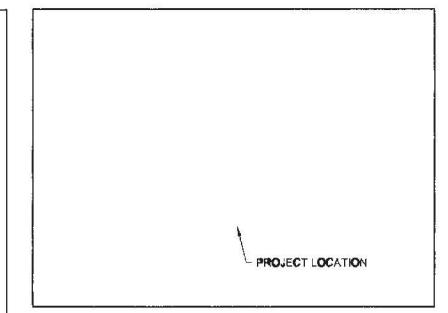
3rd FLOOR REFLECTED CEILING PLAN
SCALE 3/16" = 1'-0"BUILDING SECTION 'A'
SCALE 3/16" = 1'-0"

ZONING & BUILDING DATA			
Parcel: 6008001	Zoning District: RH-1		
C.B.C. Occupancy Group: R-3 / U	Lot Area: 2,500 sq. ft.		
C.B.C. Construction Type: V-B	Stories: 3		
Seismic Zone: Zone	Wind Exposure: 70 m.p.h.		
Climate Zone: Zone 12	Flood Zone: none		
Floor Areas (sq.ft.)	Existing	Proposed	Total
1st Flr. (lower) Conditioned	460.0	no change	460.0
2nd Flr. (middle) Conditioned	700.0	no change	700.0
3rd Flr. (upper) Conditioned	610.0	no change	610.0
Total Conditioned	1,770.0	no change	1,770.0
Non-Conditioned	0.0	no change	0.0
Total Area	1,770.0	no change	1,770.0
Setbacks/Height	Existing	Proposed	Minimum
Front Yard FRONT YARD	9'-8"	no change	18'-0" max.
Side Yard	0'-0"	no change	0'-0"
Rear Yard	49'-0"	no change	18'-0"
Height	0'-0"	no change	38'-0"
Parking	0 spaces	no change	no change

COMES:

A. The work shall comply with the following building code publications in effect in the City of Clayton and Contra Costa County:

2016 California Building Code
2016 California Residential Code
2016 California Electrical Code
2016 California Mechanical Code
2016 California Plumbing Code
2016 California Fire Code
2016 Building Energy Efficiency Standards for Residential Buildings.

VICINITY MAP
NORTH N.T.S.

SHEET INDEX

1. SITE PLAN, SHEET INDEX, SCOPE OF WORK, BUILDING SECTION, REFLECTED CEILING PLAN, GENERAL NOTES, BUILDING IN ZONING DATA, VICINITY MAP, ABBREVIATIONS
2. EXISTING FLOOR PLAN IN EXTERIOR ELEVATIONS.

3. PROPOSED FLOOR PLAN EXTERIOR ELEVATIONS

9-A5009
SCOPE OF WORK STATEMENT

1. LEGALIZE THE INSTALLATION OF WINDOWS THAT WERE NOT PREVIOUSLY APPROVED (5) TOTAL WINDOWS
2. DOCUMENT CHANGES TO INTERIOR STAIRS
3. EXISTING MECHANICAL CLOSET

PAT GALLAGHER
Dept. of Building Inspect.
ADDITION &
RENOVATION
200 NAPLES ST, SAN
FRANCISCO CA 94111
PH: 925-325-3911

SITE PLAN, BUILDING DATA,
SHEET INDEX, REFLECTED
CEILING PLAN

CHECKED BY Checker
DRAWN BY Jneal
SCALE AS SHOWN
DATE 06.23.21
PROJECT NO. 21023
PHASE NO.
SHEET NO. 1 of 1

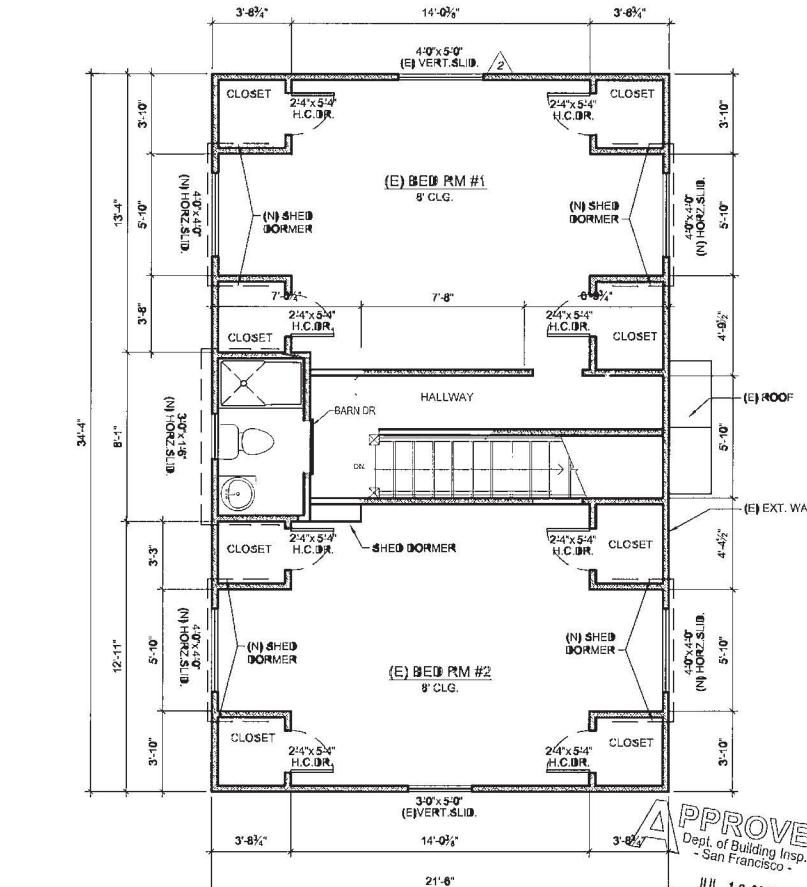
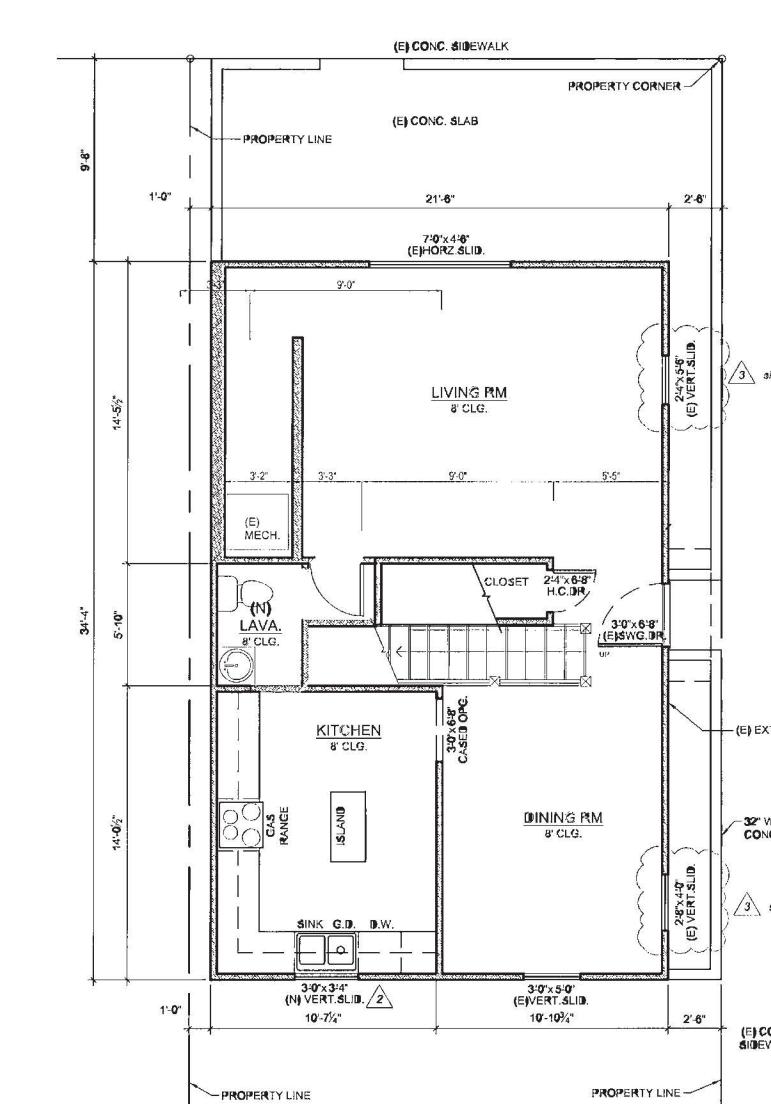
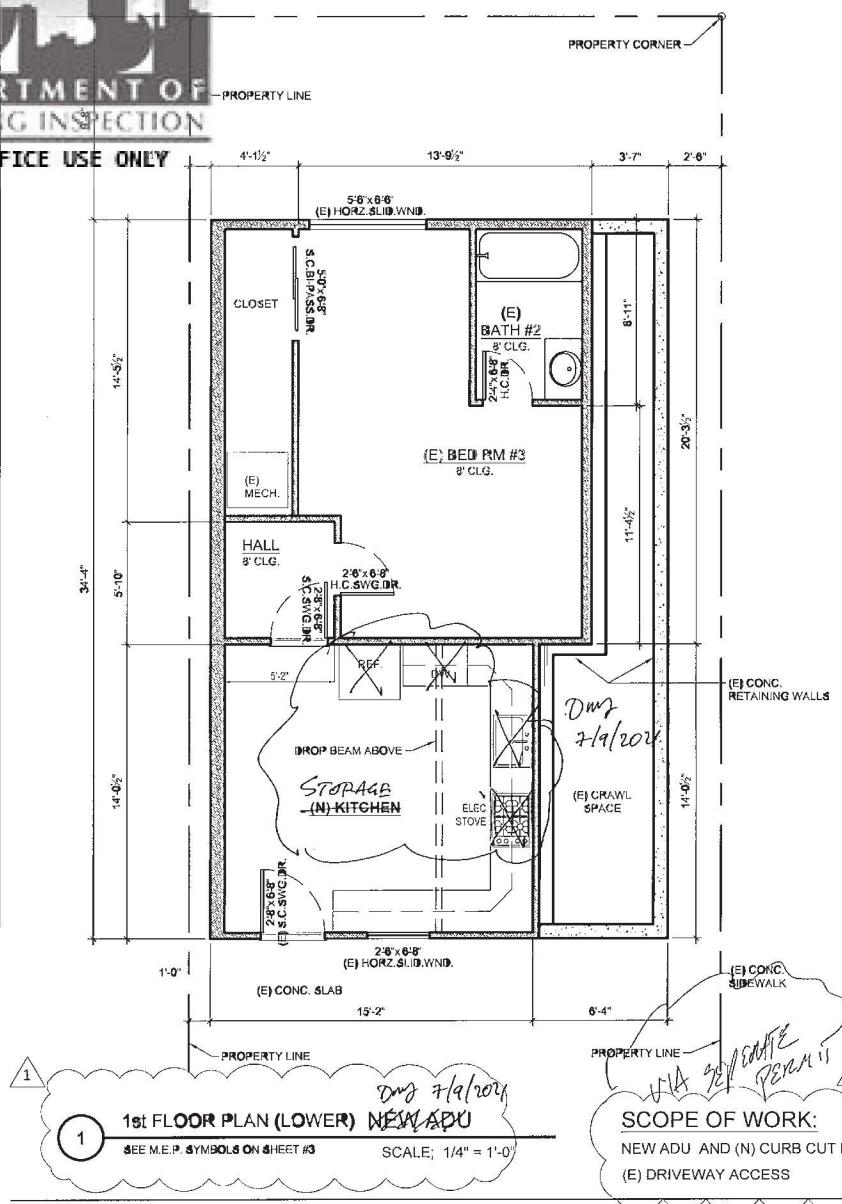
RECEIVED
JUL 02 2021
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARDS FOR PRODUCTION
ACCEPTED

1 of 1

APPROVED
Dept. of Building Inspect.
JUL 08 2021
PAT GALLAGHER
INTERIOR SURVEYOR
DEPT. OF BUILDING INSPECTION
David Jones, DBI
JUL 08 2021
Approved Planning Dept. Alex Westhoff
JUL 08 2021
7/6/21

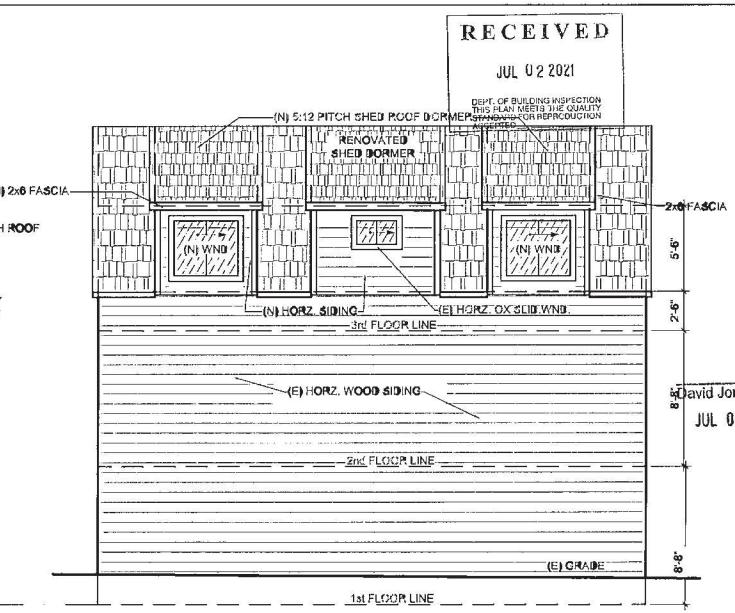
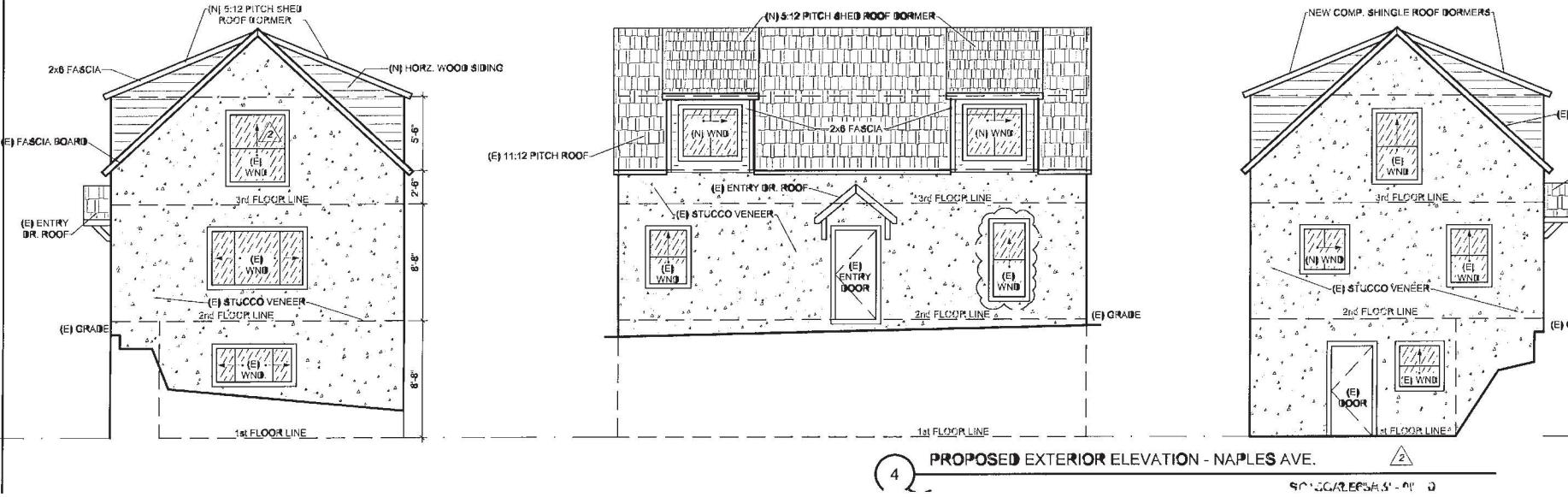
2021-0702-3726

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PAT GALLAGHER
ADDITION &
RENOVATION
200 NAPLES ST. SAN
FRANCISCO CA 94112
PH: 925-325-3911

PAT GALLAGHER
ADDITION &
RENOVATION
1000 NAPLES ST. SAN
FRANCISCO CA 94112
PH: 925-325-3011



PROPOSED
FLOOR PLANS

CHECKED BY
Checker
DRAWN BY
Jneal
SCALE
AS SHOWN
DATE
06.23.21
PROJECT NO.
21023

SHEET NO. 4
3 of 4

San Francisco Building Code AB-009

Recording Requested by and when Recorded Mail to

Director, San Francisco
Department of Building Inspection
49 South Van Ness Avenue
San Francisco, CA 94103-2414

Doc # 2021108925

City and County of San Francisco
Joaquin Torres, Assessor-Recorder
7/12/2021 11:54:26 AM Fees \$14.00
Pages 1 Title 398 KC Taxes \$0.00
Customer 001 Other \$0.00
S&B Fees \$75.00
Paid \$89.00

DECLARATION OF USE LIMITATION

I, We, PATRICK GALLAGHER, owner/s of the herein described property Commonly known as 200 NAPLES ST, in San Francisco, Assessor's Block No. 6008, Lot No. 001, hereby consent to the within described limitations that:

In the event that the property located at 530 AVAUX AVE, commonly known as Block No. 6008, Lot No. 49, is improved in such a manner that the openings in the building located at 200 NAPLES ST, no longer comply with the San Francisco Building Code, then said openings shall be closed off or protected as required by the Director of the Department of Building Inspection.

The herein limitations shall be binding on me/us until amended by conforming to the San Francisco Building Code Requirements.

Signed: PATRICK GALLAGHER OWNER/S

Date of Execution: 7/12/21

NOTARY ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA

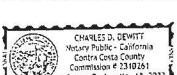
County of Contra CostaOn July 12, 2021 before me, CHARLES D. DEWITT, Notary Public

(insert name and title of the officer)

personally appeared PATRICK GALLAGHER who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Signature Charles D. DeWitt (Seal)

AB-009 Attachment A: REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

Proposed Modification or Alternate

INSTALL FIRE, 3/4 - hr FIRE
RESISTANCE RATED WINDOWS
LOCATED MORE THAN 6' laterally
FROM ANY EXISTING OPENINGS IN ADJACENT
BUILDING.

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the code and how the proposed modification or alternate meets the intent of the code. A separate form should be filled for each requested modification or alternate. Attach copies of any Administrative Bulletin, Code Ruling, reference, test reports, expert opinions, etc., which support this request. The Department may require that an approved consultant be hired by the applicant to perform tests or analysis and to submit an evaluation report to the Department for consideration.

Requested by: PROJECT SPONSOR PATRICK GALLAGHER
 Print Name: PATRICK GALLAGHER
 Signature: PATRICK GALLAGHER
 Telephone: 925-355-3811

Page | 2

APPROVED
JUL 19 2021
DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco
49 South Van Ness Ave, San Francisco, California 94103

AB-009 ATTACHMENT A

DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco

49 South Van Ness Ave, San Francisco, California 94103

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION
OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED

[Note: This form shall be recorded as part of the
permanent construction records of the property]

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFBC Table 1A-B, item 5. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application # 2021-0702-5726Property Address: 200 NAPLESBlock and Lot 6008 001 Occupancy Group: R3 Type of Construction: V No. of Stories: 2Describe Use of Building DUPLEX

Under the authority of the 2019 San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the 2019 San Francisco Mechanical Code, Section 301.2; the 2019 San Francisco Electrical Code, Section 89.117; and the 2019 San Francisco Plumbing Code, Section 301.3; the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirement (specify Code and Sections)

OPENINGS IN PROPERTY LINE WALLSNOT PERMITTED PER SFBC SECTION705.8

Page | 1

AB-009 Attachment A: REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

PLAN REVIEWER COMMENTS:

RECOMMENDATIONS:
[signed off/dated by:]Approve David Jones, DBI Approve with conditions

Disapprove

JUL 19 2021

Plan Reviewer:

David Jones, DBI

Division Manager:

David Jones, DBI

for Director of Bldg. Inspection

David Jones, DBI

for Fire Marshal:

David Jones, DBI

CONDITIONS OF APPROVAL OR OTHER COMMENTS

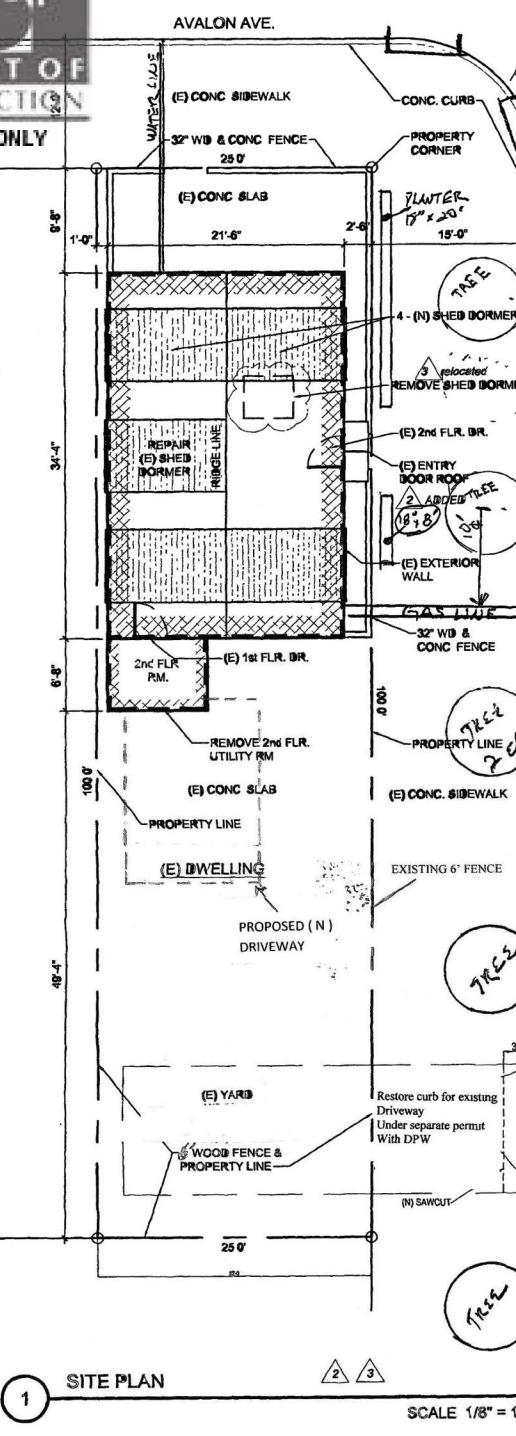
Page | 3

4/4
RECEIVED
JUL 19 2021
DEPARTMENT OF BUILDING INSPECTION
49 South Van Ness Ave, San Francisco, California 94103
THE PAPERLESS OFFICE
THE PAPERLESS OFFICE
THE PAPERLESS OFFICE
THE PAPERLESS OFFICE

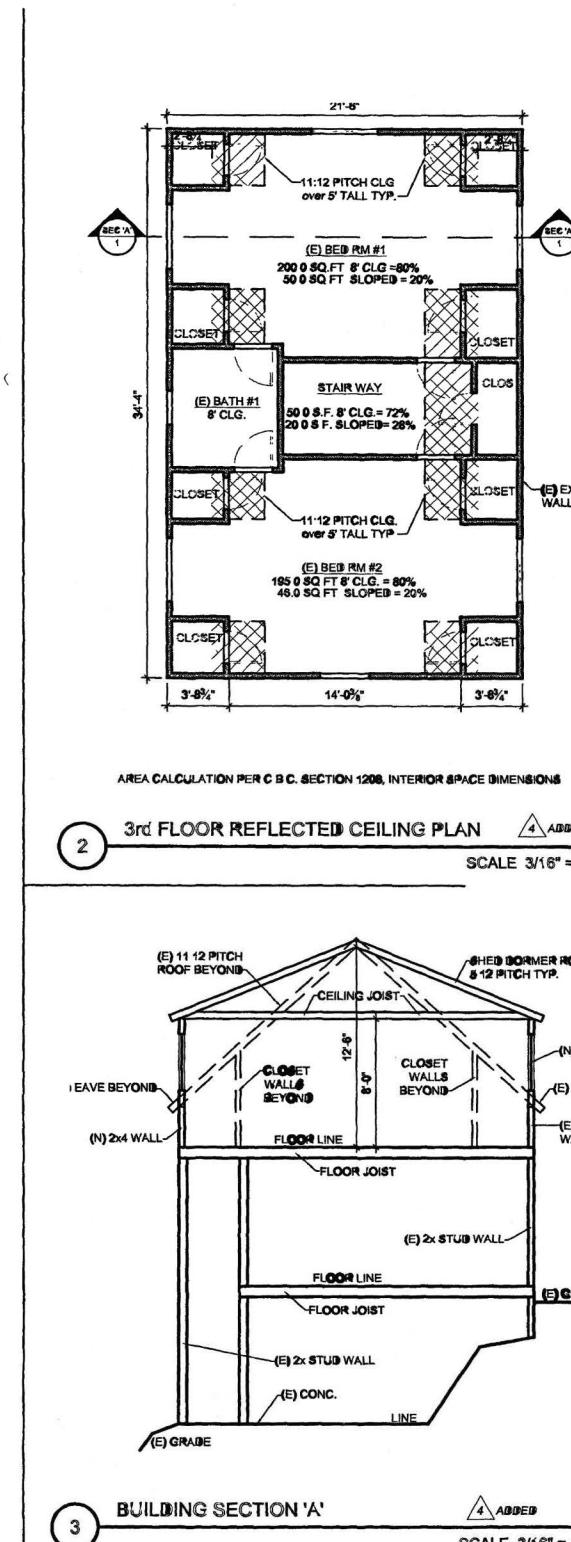
David Jones, DBI
JUL 19 2021

11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1 |

· FOR OFFICE USE ONLY



show
drive



ZONING & BUILDING DATA				
Parcel: 6008001		Zoning District: RH-1		
C.B.C. Occupancy Group: R-3 / U		Lot Area: 2,500 sq. ft.		
C.B.C. Construction Type: V-B		Stories: 3		
Seismic Zone: Zone		Wind Exposure: 70 m.p.h.		
Climate Zone: Zone 12		Flood Zone: none		
Floor Areas (sq.ft.)	Existing	Proposed	Total	
BASEMENT(lower) Conditioned	460.0	no change	460.0	
1st FLR (middle) Conditioned	700.0	no change	700.0	
2nd FLR (upper) Conditioned	610.0	no change	610.0	
Total Conditioned	1,770.0	no change	1,770.0	
Non-Conditioned	0.0	no change	0.0	
Total Area	1,770.0	no change	1,770.0	
Setbacks/Height	Existing	Proposed	Minimum	
Front Yard	9'-8"	no change	15'-0" max.	
Side Yard	0'-0"	no change	0'-0"	
Rear Yard	49'-0"	no change	15'-0"	
Height	0'-0"	no change	35'-0"	
Parking	0 spaces	no change	no change	

20

A. The work shall comply with the following building code publications in effect in the City of Clayton and Contra Costa County:

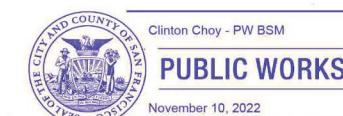
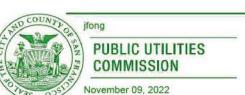
- 2016 California Building Code
- 2016 California Residential Code
- 2016 California Electrical Code
- 2016 California Mechanical Code
- 2016 California Plumbing Code
- 2016 California Fire Code
- 2016 Building Energy Efficiency Standards for Residential Buildings.

2. EXISTING FL

3. PROPOSED

SCOPE OF WORK:
restore
NEW ADU AND (R) CURB CUT FOR
(E) DRIVEWAY ACCESS

July 26



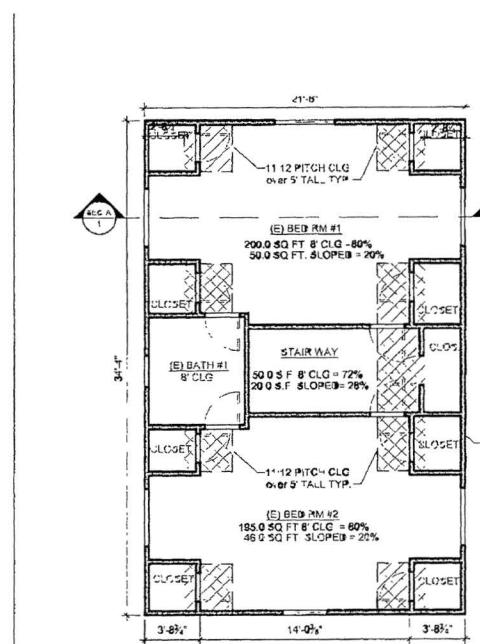
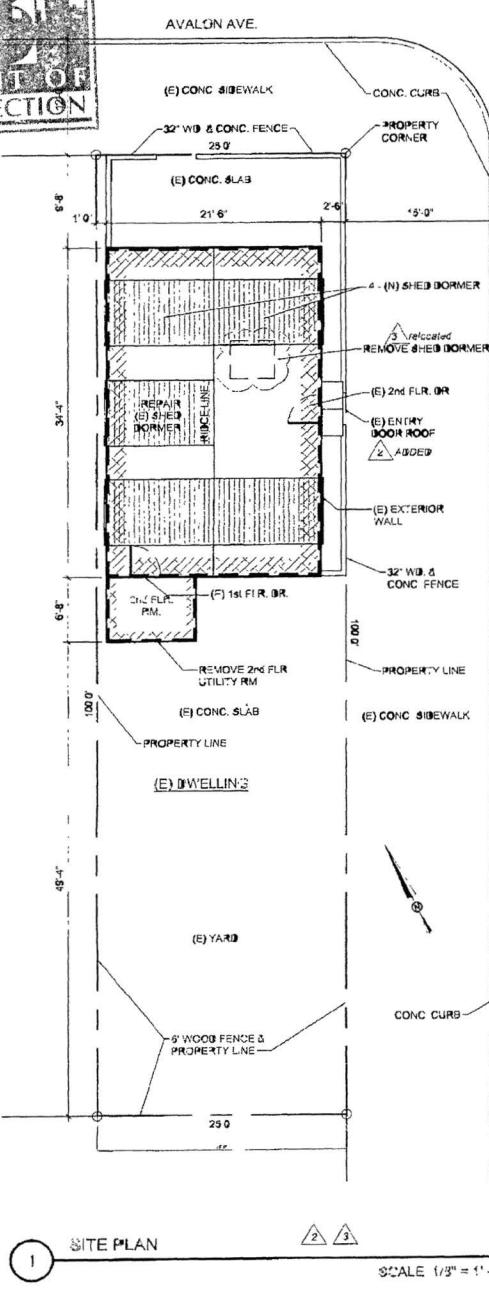
1. Gas vent terminations shall meet the requirements of CMC802.6
2. Combustion air shall meet the requirements of CMC chapter 7
3. Environmental air ducts shall terminate 3 ft from property line and 3 ft from Openings into the building per CMC 502.2.1 and provide back draft dampers per CMC 504.1.1
4. Domestic range hood vents shall meet the requirements of CMC 504.3 and comply With CMC Table 403.7
5. Upper cabinets shall be minimum 30 inches above cook top per CMC 921.3.2 provide The cooking appliances minimum clearance to combustible materials per CMC 921.3.1
6. All interior spaces intended for human occupancy shall be provided space heating per CBC 921.3.1
7. Clothes dryer exhaust shall be minimum 4 inches and terminate to the outside of the building Shall be equipped with back draft damper and meet the requirements of CMC 504.2
8. Direct vent appliances per CMC 822.2.4 (per manufacturer's instructions) & SFMC 822.2.2
9. Lighting per CEC 150 (k)
10. Maintain rated separation between dwelling units per CBC 420.3 punctuations through

**NEW ADU - SITE PLAN,
BUILDING DATA, SHEET
INDEX**

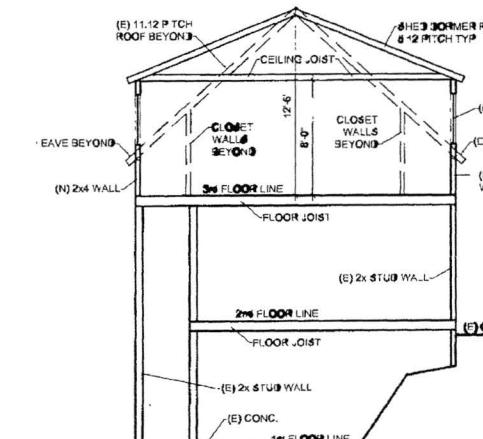
PAT GALLAGHER
NEW ADU
200 NAPLES ST. SAN
FRANCISCO CA 94112
PH: 925-325-3911
046
08096049

CHECKED BY Checker
DRAWN BY Jneal
SCALE AS SHOWN
DATE 06 23 21
PROJECT NO 21023-A
PHASE NO
SHEET NO.

EET NO
1A of 3



AREA CALCULATION PER C.B.C. SECTION 1208, INTERIOR SPACE DIMENSIONS

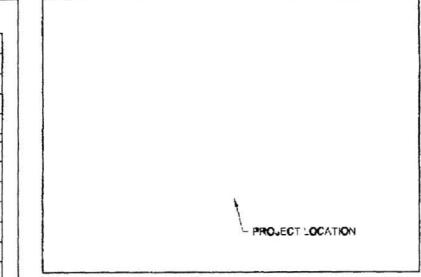
3rd FLOOR REFLECTED CEILING PLAN A-1 ADDRESS
SCALE 3/16" = 1'-0"BUILDING SECTION 'A' A-1 ADDRESS
SCALE 3/16" = 1'-0"

ZONING & BUILDING DATA			
Parcel: 600600	Zoning District: RH-1		
C.B.C. Occupancy Group: R-3 / U	Lot Area: 2,500 sq. ft.		
C.B.C. Construction Type: V-B	Stories: 3		
Seismic Zone: Zone 1	Wind Exposure: 70 m.p.h.		
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Non-Conditioned	0.0	no change	0.0
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Height	0'-0"	no change	35'-0"
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CODES:

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- 2016 California Residential Code
- 2016 California Electrical Code
- 2016 California Mechanical Code
- 2016 California Plumbing Code
- 2016 California Fire Code
- 2016 Building Energy Efficiency Standards for Residential Buildings.



SHEET INDEX

1. SITE PLAN, SHEET INDEX, SCOPE OF WORK, BUILDING SECTION, REFLECTED CEILING PLAN, GENERAL NOTES, BUILDING IN ZONING DATA, VICINITY MAP, ABBREVIATIONS
2. EXISTING FLOOR PLAN IN EXTERIOR ELEVATIONS.

3. PROPOSED FLOOR PLAN EXTERIOR ELEVATIONS

4. A-1009
SCOPE OF WORK STATEMENT

1. LEGALIZE THE INSTALLATION OF WINDOWS THAT WERE NOT PREVIOUSLY APPROVED (5) TOTAL WINDOWS
2. DOCUMENT CHANGES TO INTERIOR STAIRS
3. EXISTING MECHANICAL CLOSET

APPROVED
Dept. of Building Inspect
JUL 19 2021
F. J. NEAL
F. J. NEAL
INTERIOR DIRECTOR
DEPT. OF BUILDING INSPECTION

David Jones, DBI
JUL 08 2021

Approved Planning Dept Alex Westhoff
7/6/21

RECEIVED
JUL 02 2021
DEPT. OF BUILDING INSPECTION
1000 BARTON ST.
SAN FRANCISCO, CA 94112
PROJECT NO. 21023
PHASE NO.
SHEET NO. 1

DESIGN
COLLABORATIVE
ARCHITECTURAL / CIVIL, DESIGN & DRAFTING SERVICES

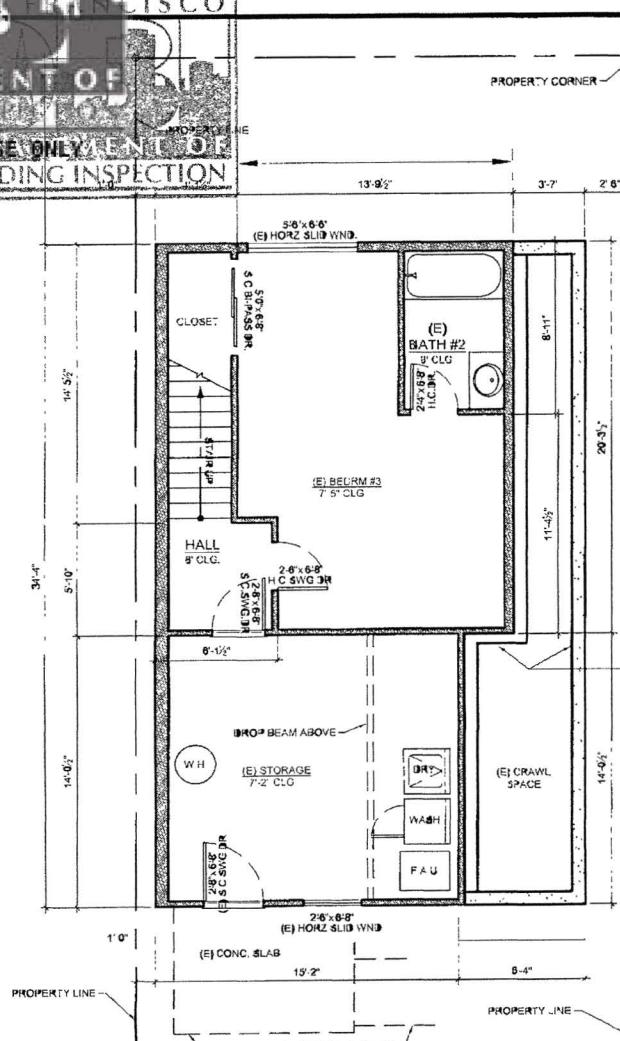
John Neal
8030 Yerba Buena Way
Santa Clara, CA 95055
707-470-6730
jneal_dc@comcast.net
Jot R Neal

No.	Description	Date
1	Updated scope of work	6/23/21

PAT GALLAGHER
ADDITION &
RENOVATION
200 NAPLES ST. SAN
FRANCISCO, CA 94112
PH: 925-325-3911

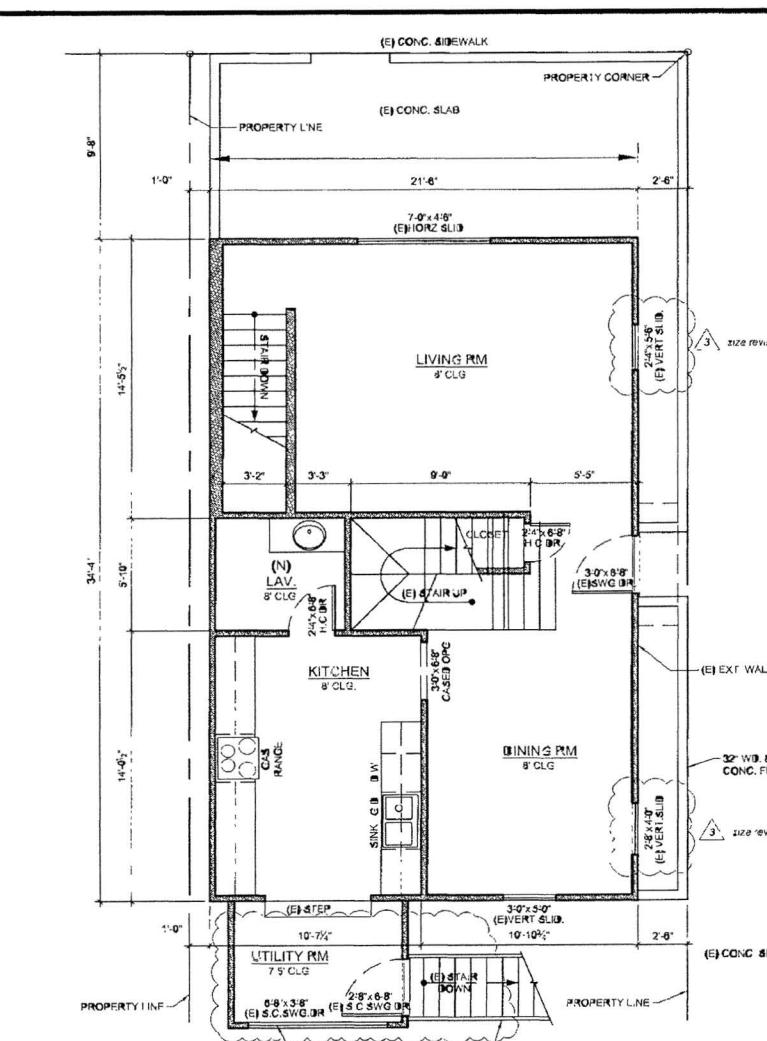
SITE PLAN, BUILDING DATA,
SHEET INDEX, REFLECTED
CEILING PLAN
2021-0702-3726

For Reference Only



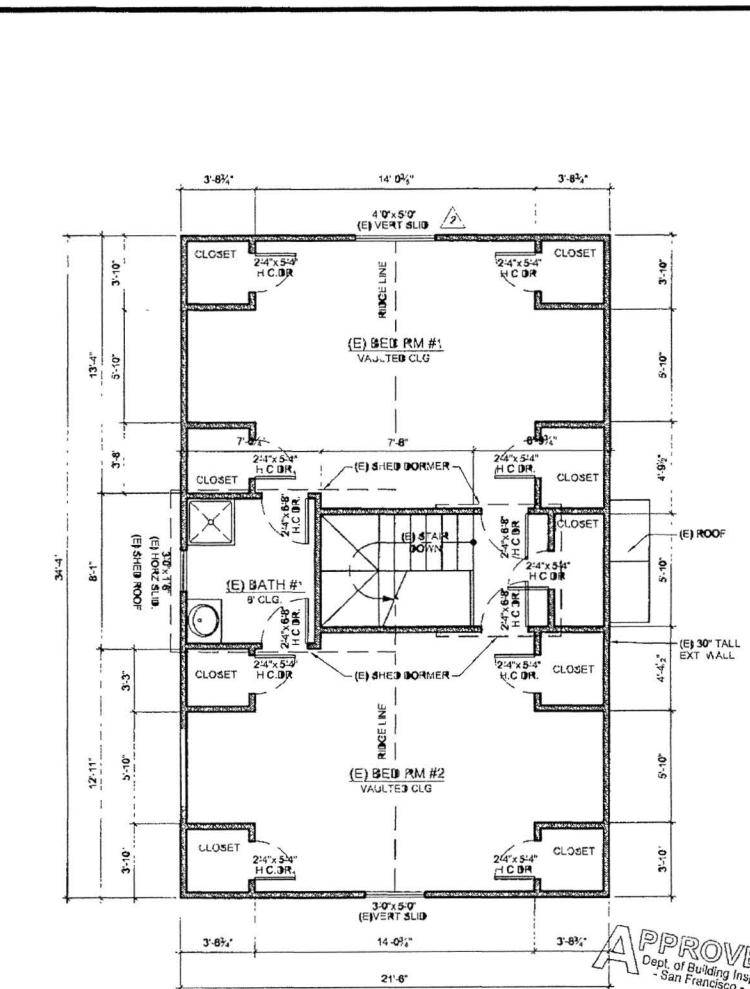
1 EXISTING 1st FLOOR PLAN (LOWER)

SCALE 1/4



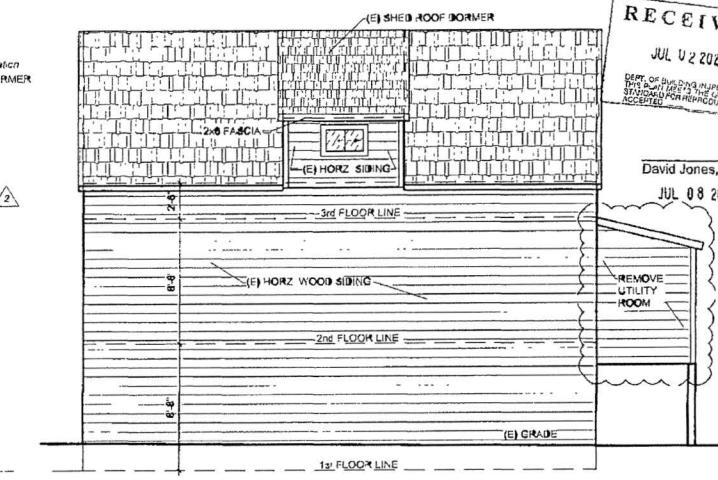
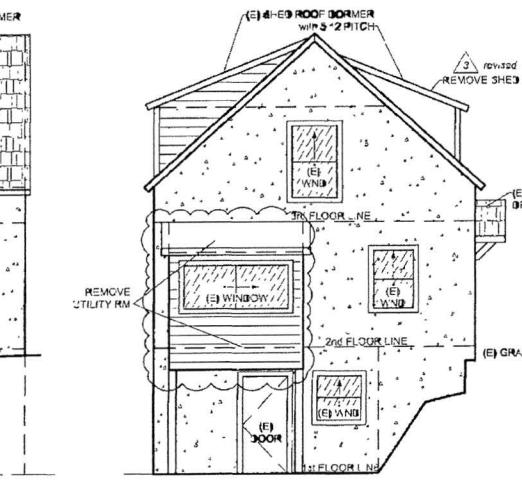
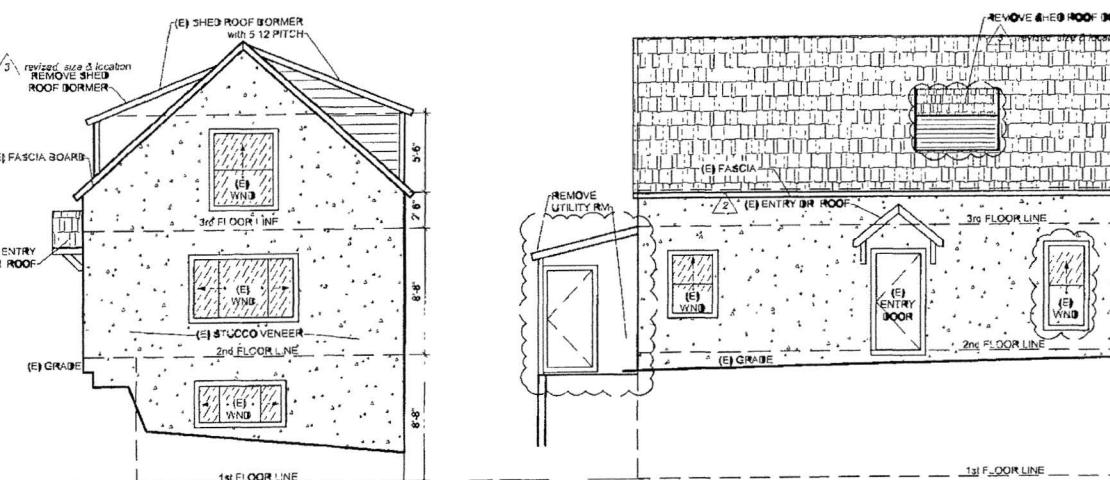
2 EXISTING 2nd FLOOR PLAN (M)

SCALE 1/4"



3 EXISTING 3rd FLOOR PLAN (UPPER)

SCALE 1/4" = 1' - 0"



EXISTING FLOOR PLANS

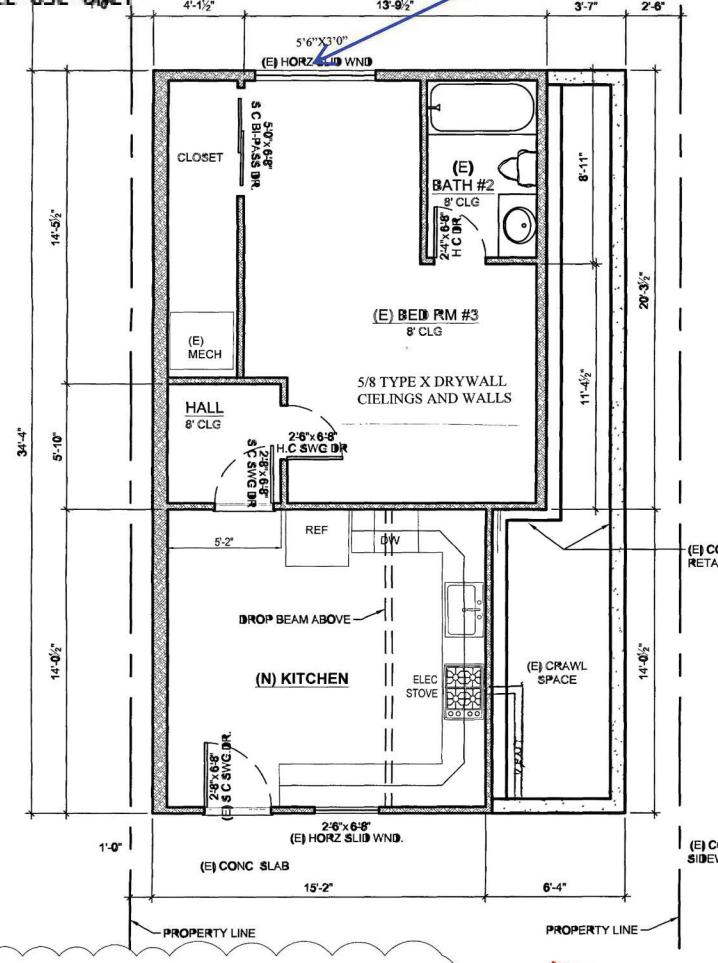
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SCALE
AS SHOWN
DATE
06 23 21
PROJECT NO
21023
PHASE NO

2 of 3

For Reference Only

V.I.F., window meets EER requirements.
Min. 5'-0" clear opening at sill height from the inside is higher than 44" above finished floor.
Window not less than 20" wide.
Window not less than 24" high.

FOR OFFICE USE ONLY

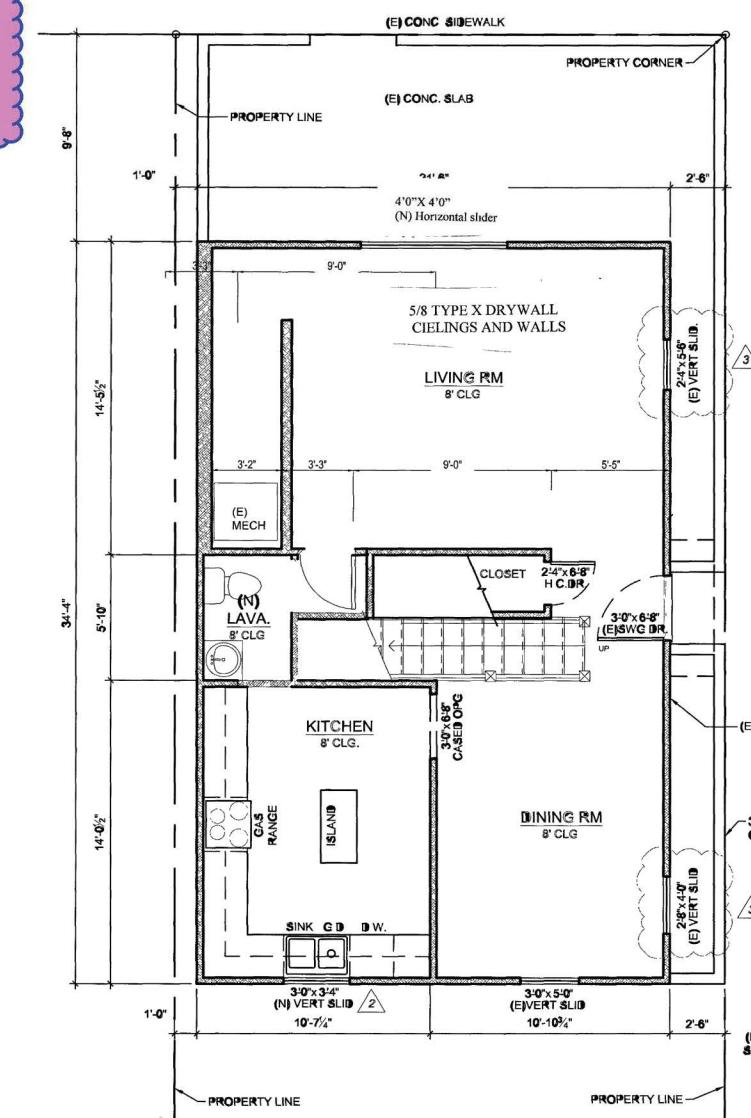


1 1st FLOOR PLAN (LOWER) NEW ADU

E.P. SYMBOLS ON SHEET #3

SCALE, 1/4"

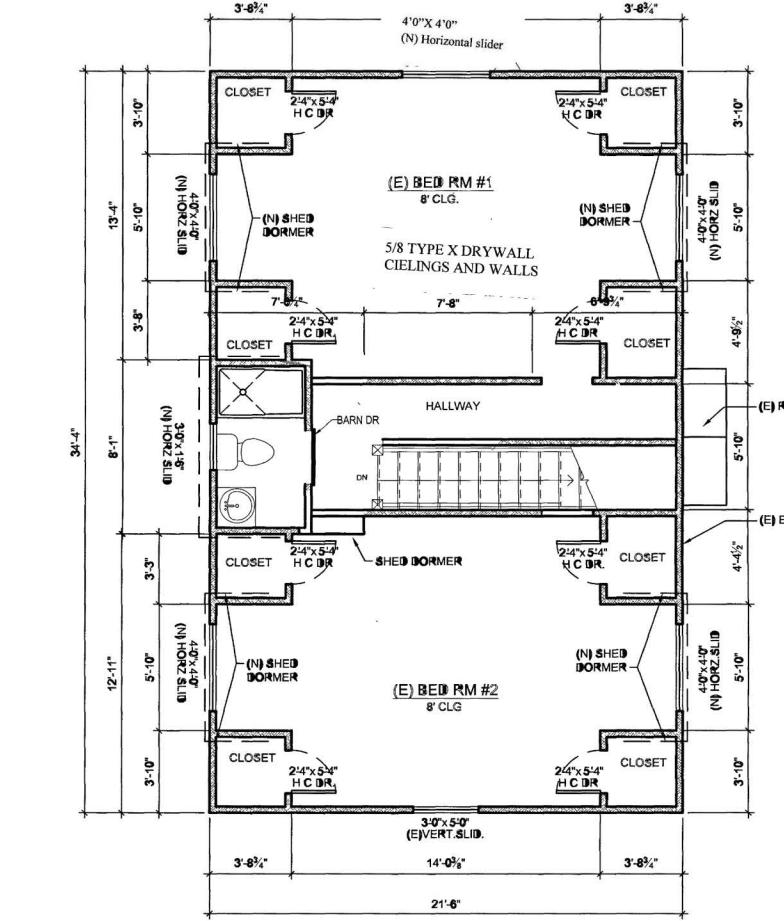
~~SCOPE OF WORK:
NEW ADU AND (N) CURB CUT
(E) DRIVEWAY ACCESS - KIT
APPROVED FROM PREVIOUS
PERMIT~~



2nd FLOOR PLAN (M)

SEE M.E.P. SYMBOLS ON

SCALE 1/4" = 1'



3rd FLOOR PLAN (UPPER)

SEE M E P. SYMBOLS ON SH

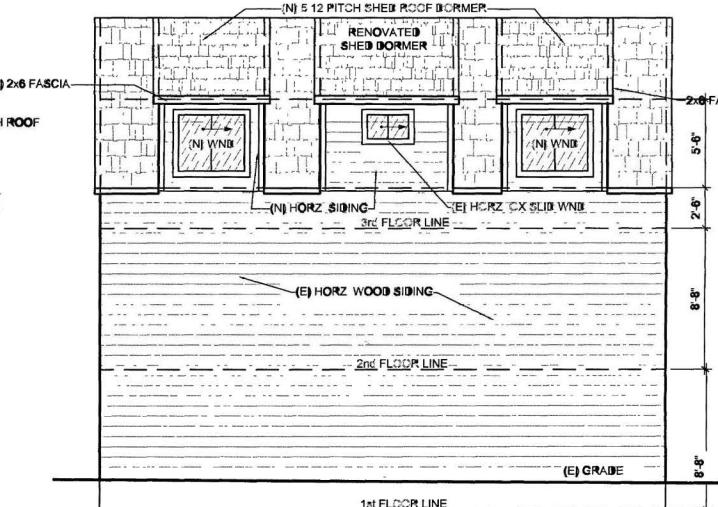
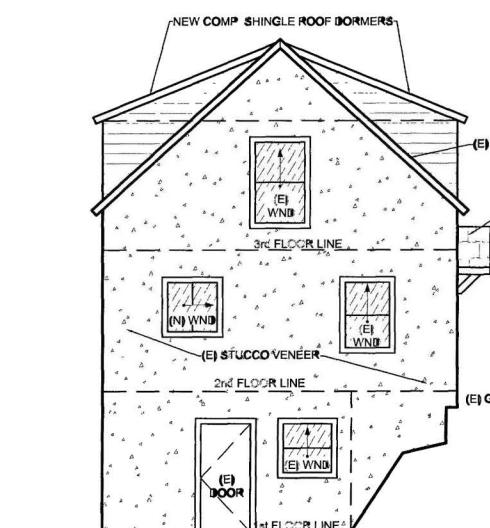
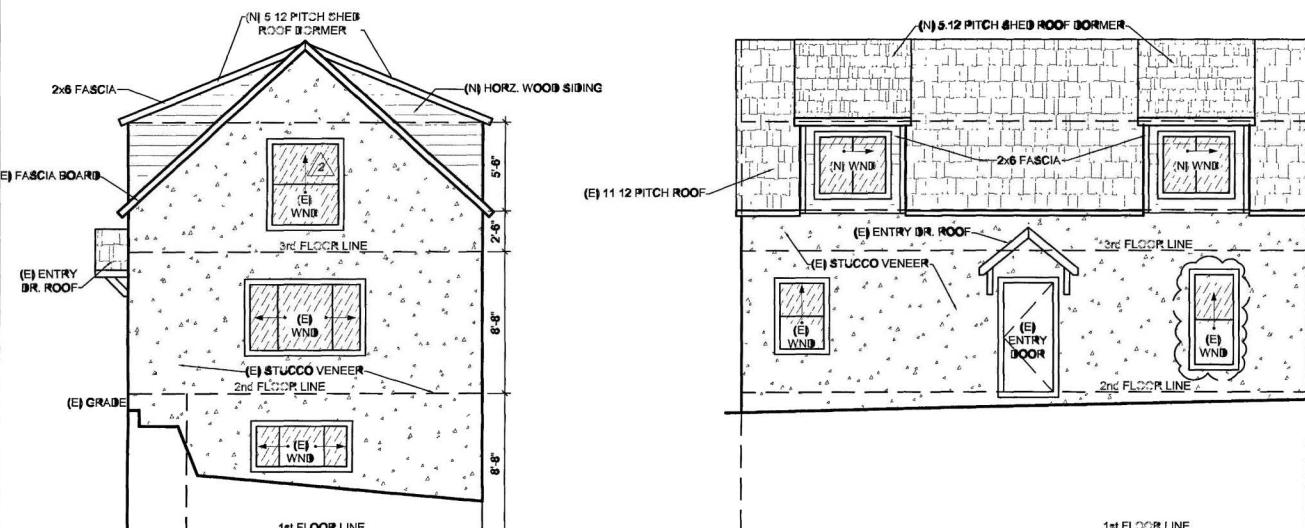
SCALE 1/4" = 1'

PAT GALLAGHER
ADDITION &
RENOVATION
200 NAPLES ST. SAN
FRANCISCO CA 94111
PH: 925-325-3911

APPROVED
Dept. of Building Insp.
- San Francisco -

January 10, 2023
202108096049_DWGS REV7

PROPOSED FLOOR PLANS

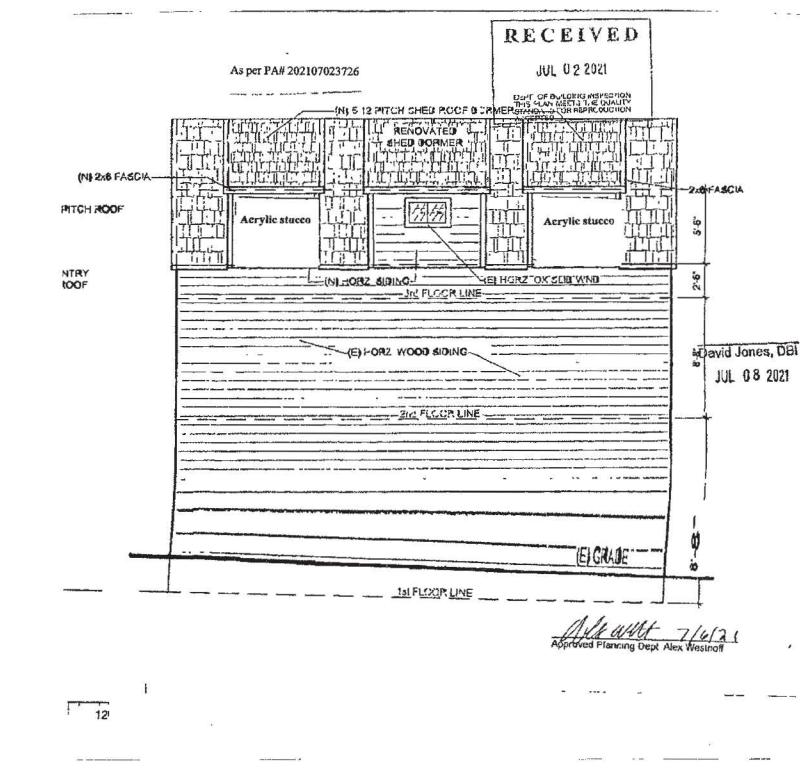


PROPOSED EXTERIOR ELEVATION - NAPLES

PLAN REVISION
11/7/2022

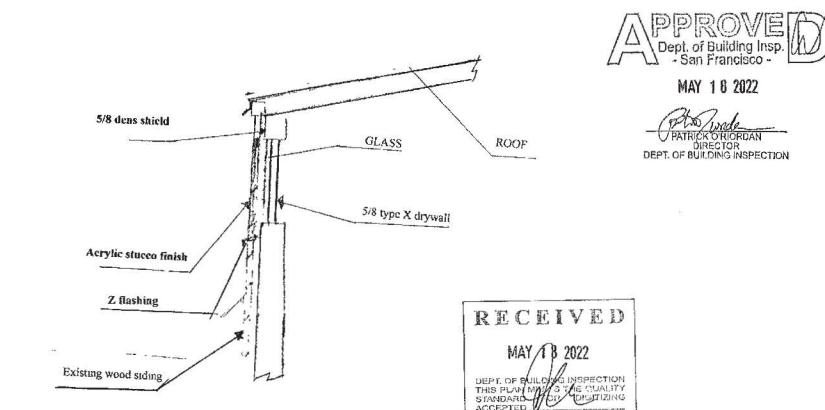
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Jneal
SCALE AS SHOWN
DATE 07 26 21
PROJECT NO
21023-A
PHASE NO

SHEET NO



Scope:
Revision PA 2021 07023726
To Show New Detail to cover
existing window with acrylic str

Building: TYPE II-B, 2 story, single family dwelling



David Jones, DB
MAY 18 2022

MAY 18 2022

20220518 4515

200 Naples 84

Exhibit B

No. 20210702-3726

1/21/22

20

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTIONCORRECTION NOTICE
AND REPORT

Location	Code Section
1) DOCUMENT CHANGES TO FRONT FAÇADE - WINDOW SIZES & BUILDING FINISHES.	
2) WINDOWS AT UPSTAIRS BEDROOM DO NOT MEET UPSTAIRS ECROSS	1030.2.1
3) PROPERTY LINE WINDOWS NEED TO COMPLY WITH ALONG & PER APP ALTE ON APPROVAL PLANS - "FIXED 3/4 HR FIRE RESISTANCE WINDOW	
4) FIRE UNDER SIDE OF STAIRS FROM 1 ST - 2 ND FLOOR.	
DOWN STAIR - BASEMENT	
5) CONSTRUCT LOWER LEVEL AS PER APPROVED PLANS - REMOVE KITCHEN & INSTALL LAUNDRY -	
6) REMOVE & CAP FURNACE PID PERMIT REQUIRED	
7) DOCUMENT CEILING HEIGHT	1207.2

Contact Inspector KEVIN BIRNINGHAM
 Div. PID, 1660 Mission Street or phone: 628-652-3606
 Supervisor MATT GREEN Date 1/24/22
 9003-M44 (Rev. 2/02) REP-18 Correcion Notice